

PRELIMINARY & FINAL SITE PLAN RESIDENTIAL DEVELOPMENT

BLOCK 4201.01, LOT 33.03 GROVERS MILL ROAD TOWNSHIP OF LAWRENCE COUNTY OF MERCER, NEW JERSEY

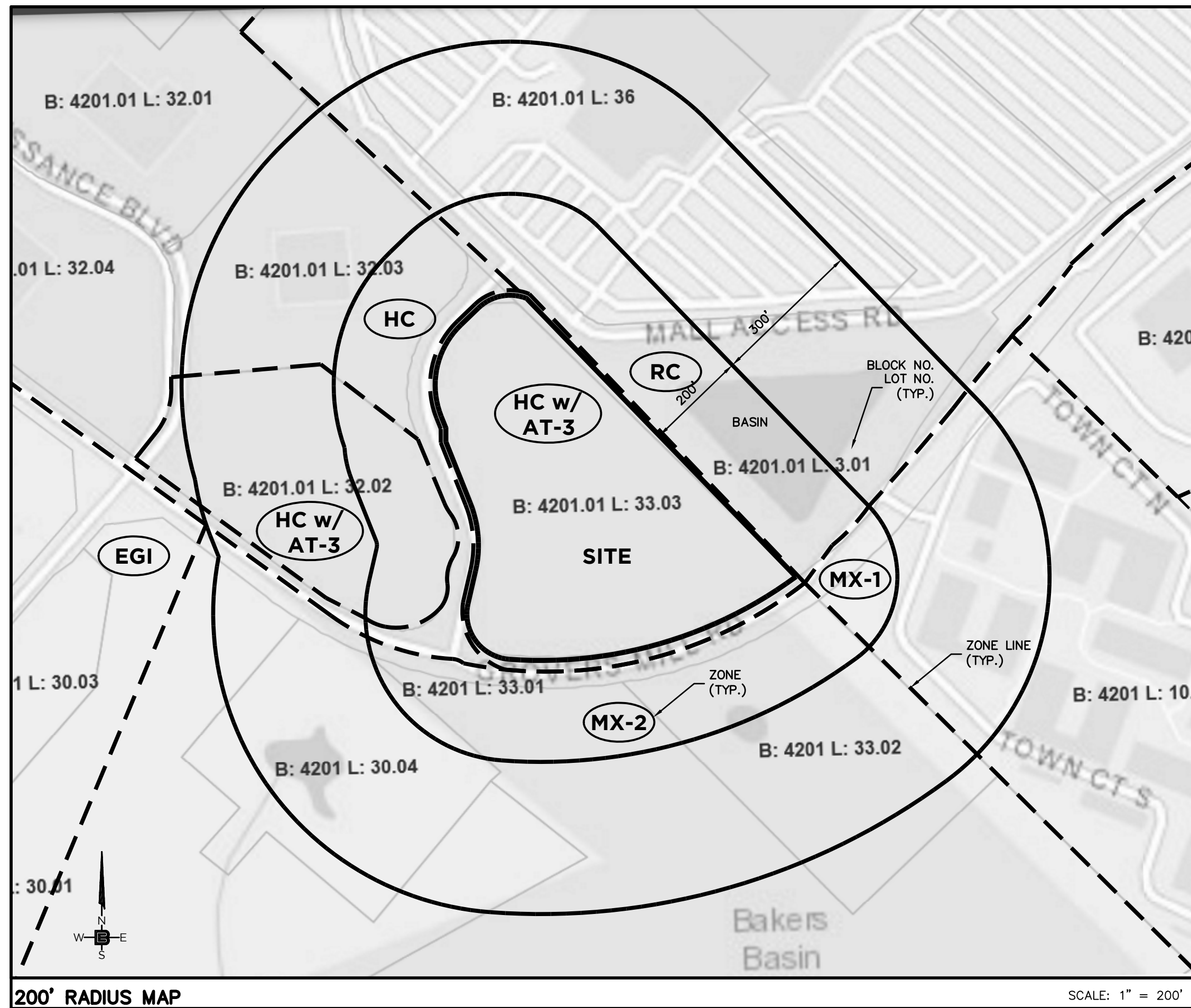
PROPERTY OWNERS WITHIN 200'

TOWNSHIP OF LAWRENCE (Per Construction Official dated 8-3-2023)

BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
4201	10.03	TOWN COURT OWNER TIC LLC 5850 W 3RD ST #109 LOS ANGELES, CA 90036	5850 W 3RD ST #109
30.04	33.02	DEPT OF TRANSPORTATION 1035 PARKWAY AVE TRENTON, NJ 08625	1035 PARKWAY AVE
33.01		DEPT OF ENVIRONMENTAL PROTECTION JOHN FITCH PLAZA TRENTON, NJ 08625	JOHN FITCH PLAZA
33.01	(T01)	SPRINT SPECTRUM PROP TAX DEPT PO BX 8430 (PL03XC109) KANSAS CITY, MO 64114-8430	PO BX 8430 (PL03XC109)
33.01	(T03)	VERIZON WIRELESS C/O DUFF & PHELPS PO BOX 2549 ADDISON, TX 75001	PO BOX 2549
4201.01	3.01	QUAKER BRIDGE MALL, LLC 225 WEST WASHINGTON ST INDIANAPOLIS, IN 46204	225 WEST WASHINGTON ST
32.02		FAMPEC, LLC 100 RENAISSANCE BLVD LAWRENCEVILLE, NJ 08648	100 RENAISSANCE BLVD
32.03		AUTO CAMPUS REALTY LLC 100 RENAISSANCE BLVD LAWRENCEVILLE, NJ 08648	100 RENAISSANCE BLVD
36		TF LWROVL NJ/DEPT 36134,BC-151A 3333 BEVERLY ROAD HOFFMAN ESTATES, IL 60179	3333 BEVERLY ROAD

MUNICIPALITIES & UTILITIES

CORPORATE SECRETARY EWING-LAWRENCE SEWERAGE AUTHORITY 600 WHITEHEAD ROAD LAWRENCEVILLE, NJ 08648	CORPORATE SECRETARY PUBLIC SERVICE ELECTRIC & GAS COMPANY 80 PARK PLAZA, 4B NEWARK NJ 07101
N.J. AMERICAN WATER 1025 LAUREL OAK ROAD VOORHEES NJ 08043 ATTN: DONNA SHORT	ELIZABETHTOWN GAS COMPANY ONE ELIZABETHTOWN PLAZA THIRD FLOOR EAST UNION NJ 07083-1975
CORPORATE SECRETARY TRENTON WATER WORKS P.O. BOX 528 TRENTON NJ 08604	CORPORATE SECRETARY VERIZON 540 BROAD STREET NEWARK NJ 07101
AQUA WATER COMPANY 2875 ERIAL ROAD ERIAL NJ 08081 ATTN: JAMES BARBATO	GENERAL MANAGER COMCAST CABLEVISION 940 PROSPECT STREET TRENTON NJ 08618
RCN CORPORATION 105 CARNEGIE CENTER PRINCETON NJ 08540	CORPORATE SECRETARY AT&T 1 AT&T WAY BEDMINSTER NJ 07921
MERCER COUNTY PLANNING BOARD 640 SOUTH BROAD STREET P.O. BOX 8068 TRENTON NJ 08650-8068	CORPORATE SECRETARY JERSEY CENTRAL POWER AND LIGHT 300 MADISON AVENUE MORRISTOWN NJ 07962
SUN PIPE LINE COMPANY ATTN: R-O-W DEPARTMENT 1801 MARKET STREET 26TH FLOOR PHILADELPHIA PA 19103-1699	CORPORATE SECRETARY TRANSCONTINENTAL GAS PIPE LINE CORPORATION 2800 POST OAK BOULEVARD HOUSTON TX 77056
SUNOCO PIPE LINE, L.P. RIGHT-OF-WAY DEPARTMENT MONTELLO COMPLEX 525 FRITZTOWN ROAD SINKING SPRING PA 19608	COMMISSIONER N.J. DEPARTMENT OF TRANSPORTATION 1035 PARKWAY AVENUE, CN 600 TRENTON NJ 08625



DRAWING LIST			
DWG. #	DRAWING TITLE	DATED/ LAST REVISED	REV. #
C1.1	COVER SHEET	11-17-25	5
C2.1	SITE PLAN	11-17-25	5
C2.2	SOIL EROSION & SEDIMENT CONTROL PLAN	11-17-25	4
C2.3	GRADING & DRAINAGE PLAN	11-17-25	6
C2.4	UTILITY PLAN	11-17-25	5
C2.5a	LIGHTING & LANDSCAPING PLAN	11-17-25	5
C2.5b	LANDSCAPE PLAN - BIORETENTION & INFILTRATION BASINS	11-17-25	0
C2.6	LIGHTING INTENSITIES PLAN	11-17-25	5
C2.7	PARKING PLAN	11-17-25	5
C2.8	GRADING & LANDSCAPE PLAN	11-17-25	4
C2.9	WETLANDS PERMITTING PLAN	11-17-25	5
C2.10	TREE REMOVAL PLAN	11-17-25	2
C3.1	SITE DETAILS	11-17-25	4
C3.2	DRAINAGE DETAILS	11-17-25	4
C3.3	UTILITY DETAILS	4-16-25	2
C3.4	LANDSCAPING & SOIL EROSION DETAILS	11-17-25	3
C3.5	LIGHTING DETAILS	4-16-25	2
C4.1	ROAD PROFILES	11-17-25	3

UNIT MIX

16	3-BR TOWNHOUSE
20	3-BR APARTMENT
46	2-BR APARTMENT
18	1-BR APARTMENT
100 TOTAL	

REQUIRED APPROVALS

- LAWRENCE TOWNSHIP PLANNING BOARD
- MERCER COUNTY PLANNING BOARD
- MERCER COUNTY SOIL CONSERVATION
- NJDEP TREATMENT WORKS
- NJDEP BUFFER AVERAGING

REQUIRED VARIANCES

MIN. GROSS TRACT AREA
MIN. BUILDABLE AREA
MIN. BUILDING SETBACK
MAX. UNITS PER APARTMENT BUILDING
MIN. BUILDING TO COMMON PARKING

DESIGN EXCEPTIONS

- 492G4 - MAX. FENCE/WALL HEIGHT
(4' REQUIRED - 13' PROPOSED)
- 525H1d - MIN. BUFFER RESIDENTIAL TO RETAIL
(25' REQUIRED - 0' PROPOSED)

SOLID WASTE MANAGEMENT

- TOWNHOMES TO STORE TRASH AND RECYCLING WITHIN UNITS TO BE PLACED ON CURB SIDE FOR PICKUP.
- APARTMENT BUILDINGS HAVE TRASH SHOOTS AND COMPACTORS. TRASH TO BE STORED IN TRASH ROOM FOR PRIVATE COLLECTION. RECYCLING TO BE STORED IN TRASH ROOM AND PLACED AT CURB FOR PICKUP.

ZONING NOTES

- OWNER/APPLICANT: TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512
- LOCATION:
GROVERS MILL ROAD & MALL ACCESS ROAD
BLOCK 4201.01, LOT 33.03
TOWNSHIP OF LAWRENCE, NJ
- ZONE:
AT-3 APARTMENT & TOWNHOUSE RESIDENTIAL
- USE:
EXISTING: UNDEVELOPED
PROPOSED: TOWNHOUSE/APARTMENT (PERMITTED) 100 UNITS PROPOSED
- BULK REQUIREMENTS: (§ 409, ORD. 2283-17)

	REQUIRED	PROPOSED
MIN. GROSS TRACT AREA (AC)	10	6.86(E)
MIN. BUILDABLE AREA (AC)	7	4.80(V)
LOT WIDTH (FT)	N/A	750
LOT DEPTH (FT)	N/A	375
MAX. UNITS PER ACRE	15	14.58
MIN. OPEN SPACE(%)	30	57
MIN. FRONTAGE (FT)	300	1,486
MIN. BUILDING SETBACK(FT)	50	25(V)
MAX. UNITS PER TOWNHOUSE BUILDING	8	8
MAX. UNITS PER APARTMENT BUILDING	24	31/39(V)
MAX. UNITS PER MIXED BUILDING	12	N/A
MIN. DISTANCE BETWEEN BUILDINGS*		
FRONT/BACK(FT)	50	50
SIDE(FT)	30	25.7(V)
BUILDING TO COMMON PARKING(FT)	15	9(V)
MAX. BUILDING HEIGHT(ST/FT)	4/55	4/51.9
MAX. BUILDING LENGTH(FT)	240	223.1
MIN. PRIVATE REAR YARD PER GROUND FLOOR UNIT(SF)**	200	COMPLY
MIN. PRIVATE BALCONY PER ABOVE GROUND UNIT(SF)**	50	COMPLY
MIN. TOWNHOUSE WIDTH(FT)	20	24
MIN. APARTMENT SIZE(SF)	550	770
MIN. STORAGE AREA PER UNIT		
TOWNHOUSE(SF)	300	300
APARTMENT(SF)**	75	75
MIN. ACCESSORY STRUCTURE SETBACK(FT)	5	116.5
MAX. UNIT TYPE IN MIXED DEVELOPMENT(%)	80	N/A
MIN. AFFORDABLE HOUSING UNITS(TOTAL/%)	N/A/20	20

6. OFFSTREET PARKING (N.J.A.C.5:21-TABLE 4.4)

	REQUIRED	PROPOSED
PROPOSED APARTMENT BUILDING A:		
1 BEDROOM - 1.8 SP/UNIT (11 - 1 BEDROOM x 1.8) = 19.8 SPACES	19.8	
2 BEDROOM - 2.0 SP/UNIT (19 - 2 BEDROOM x 2.0) = 38.0 SPACES	38	23 INTERIOR
3 BEDROOM - 2.1 SP/UNIT (1 - 3 BEDROOM x 2.1) = 2.1 SPACES	2.1	21 EXTERIOR
TOTAL REQUIRED SPACES BUILDING "A" =	60	44

PROPOSED APARTMENT BUILDING F:

1 BEDROOM - 1.8 SP/UNIT (7 - 1 BEDROOM x 1.8) = 12.6 SPACES	12.6	
2 BEDROOM - 2.0 SP/UNIT (27 - 2 BEDROOM x 2.0) = 54.0 SPACES	54.0	33 INTERIOR
3 BEDROOM - 2.1 SP/UNIT (5 - 3 BEDROOM x 2.1) = 10.5 SPACES	10.5	44 EXTERIOR
TOTAL REQUIRED SPACES BUILDING "F" =	78	77

PROPOSED APARTMENT BUILDING D:

3 BEDROOM - 2.1 SP/UNIT (14 - 3 BEDROOM x 2.1) = 29.4 SPACES	29.4	28
TOTAL APARTMENT SPACES (59.9 + 77.1 + 29.4) =	167	149

PROPOSED TOWNHOUSE:

BUILDING B & C: 2 GARAGE SPACES + 1 DRIVEWAY SPACE = 3 PER TOWNHOUSE

16 3-BR TOWNHOUSE x 2.4 =	38.4	48
TOTAL REQUIRED SPACES (167 + 39) =	206	197 TOTAL SPACES

MIN. PARKING/DRIVEWAY SETBACK(FT)	25	25.4
MIN. PARKING SPACE SIZE(FT)	9x18	9x18
MIN. 90° PARKING AISLE WIDTH (FT)	24	24
MIN. HANDICAP SPACES (101 TO 150):	5	6

REQUIRED ELECTRIC VEHICLE SUPPLY EQUIPMENT SPACES (EVSE):

RESIDENTIAL/APARTMENTS	REQUIRED	PROVIDED
MIN. (EVSE)(15% OF REQUIRED PARKING): 60 + 78 = 138 SPACES (138 SP x .15) = 20.7	21	21
MIN. ADA EVSE (5% OF EVSE SP): (20.7 SP x .05) = 1.04	2	2
TOTAL EVSE SPACES =	21	

REDUCTION IN REQUIRED PARKING SPACES PER EVSE CREDIT

TOTAL SPACES REQUIRED =	206
EVSE CREDIT (2 TO 1)(MAX. 10% OF TOTAL SPACES REQUIRED) =	13
TOTAL ADJUSTED REQUIRED SPACES =	193 REQUIRED SPACES

- * THE PLANNING OR ZONING BOARD, AFTER DUE CONSIDERATION OF PLANS, TESTIMONY, OF OTHER EVIDENCE, MAY WAIVE STRICT COMPLIANCE WITH THIS SUBSECTION TO FURTHER THE ARCHITECTURAL RELATIONSHIP OF BUILDING GROUPS.
- ** OR AN ACTIVE AND/OR PASSIVE RECREATION AREA EQUAL TO 200SF PER UNIT AVAILABLE TO ALL TENANTS OR OWNERS.
- *** MAY BE REDUCED TO NO MORE THAN 75 SF IF EACH BUILDING HAS AN INTERNAL GARBAGE AND RECYCLABLE COLLECTION AREA OR READILY ACCESSIBLE EXTERIOR GARBAGE AND TRASH COLLECTION POINT.

- **** (2 TO 1 UP TO 10% OF TOTAL REQUIRED PARKING
- TBD - TO BE DETERMINED
(V) - INDICATES A VARIANCE IS REQUIRED
NC - NO CHANGE
N/A - NOT APPLICABLE

APPROVED BY THE LAWRENCE TOWNSHIP
PLANNING BOARD OF ADJUSTMENT AT A
MEETING HELD ON _____ 2023

CHAIRPERSON	DATE
SECRETARY	DATE
ADMINISTRATIVE OFFICER	DATE
ENGINEER	DATE

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NH LIC. NO. 9368 RI LIC. NO. 6694

ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NO.	DATE	REVISION
5	11-17-25	REVISED DRAWING LIST & ZONING NOTES
4	4-16-25	REVISED ZONING NOTES
3	7-16-24	REVISED DRAWING LIST
2	6-13-24	REVISED DRAWING LIST
1	3-19-24	REVISED DRAWING LIST

DRAWING TITLE

COVER SHEET

PROJECT

**RESIDENTIAL
DEVELOPMENT**

BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT

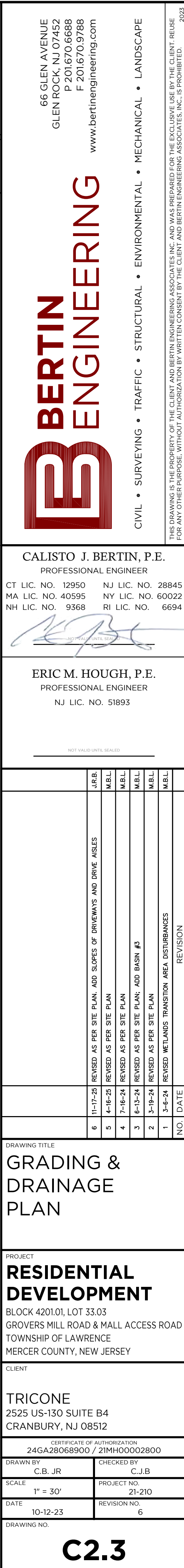
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

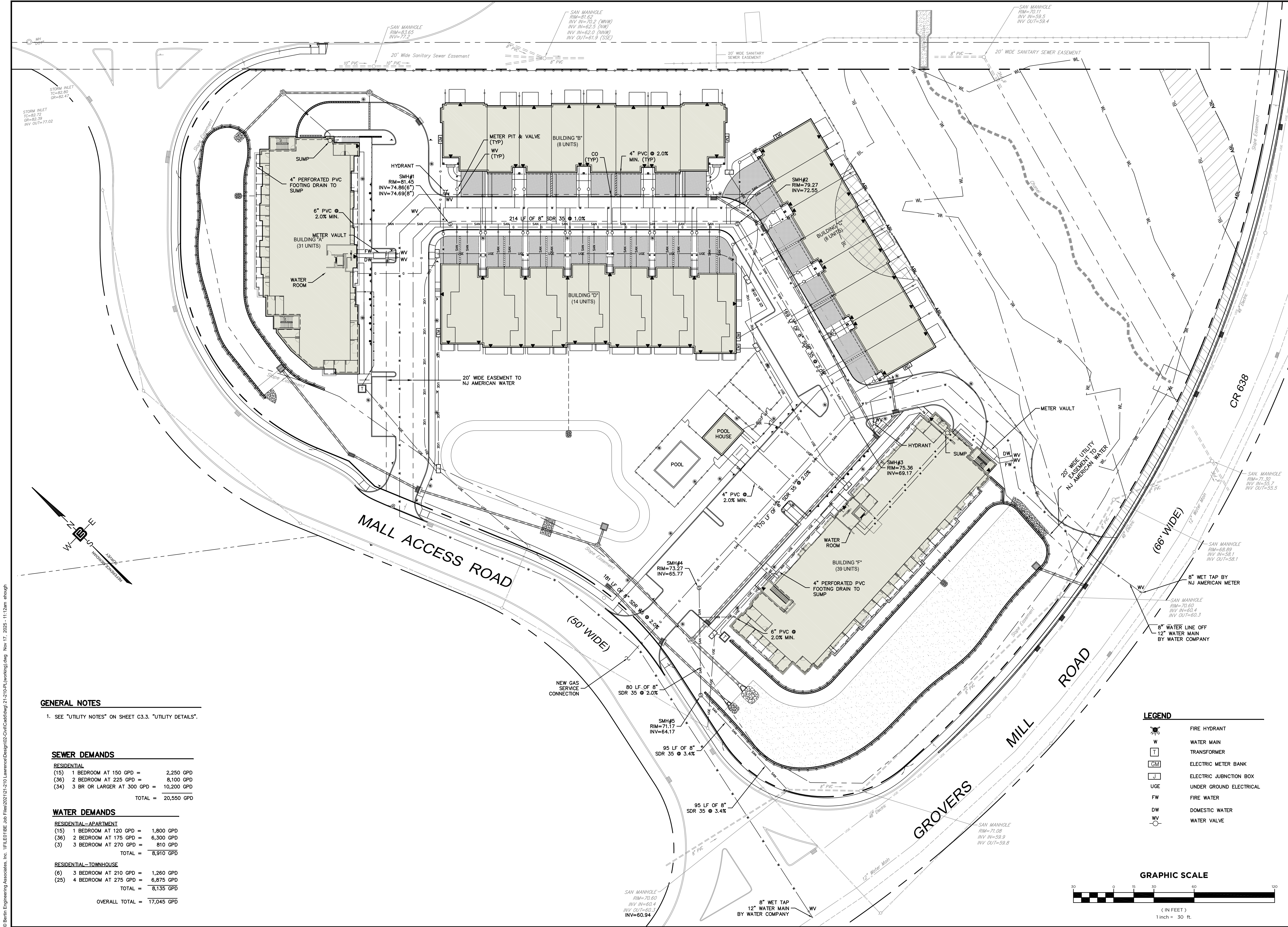
CERTIFICATE OF AUTHORIZATION
24GA28068900 / ZMH00002800

DRAWN BY	CHECKED BY
V.L.	C.J.B
SCALE	PROJECT NO.
AS SHOWN	21-210
DATE	REVISION NO.
10-12-23	5

DRAWING NO.

C1.1





GENERAL NOTES

1. SEE "UTILITY NOTES" ON SHEET C3.3. "UTILITY DETAILS".

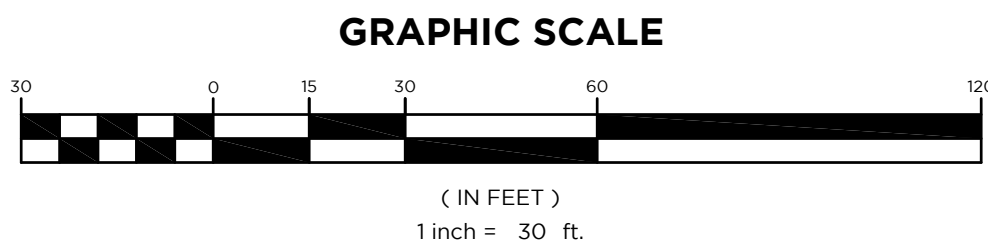
SEWER DEMANDS			
RESIDENTIAL			
(15)	1 BEDROOM AT 150 GPD =	2,250 GPD	
(36)	2 BEDROOM AT 225 GPD =	8,100 GPD	
(34)	3 BR OR LARGER AT 300 GPD =	10,200 GPD	
TOTAL =		20,550 GPD	

WATER DEMANDS			
RESIDENTIAL-APARTMENT			
(15)	1 BEDROOM AT 120 GPD =	1,800 GPD	
(36)	2 BEDROOM AT 175 GPD =	6,300 GPD	
(3)	3 BEDROOM AT 270 GPD =	810 GPD	
TOTAL =		8,910 GPD	

RESIDENTIAL-TOWNHOUSE			
(6)	3 BEDROOM AT 210 GPD =	1,260 GPD	
(25)	4 BEDROOM AT 275 GPD =	6,875 GPD	
TOTAL =		8,135 GPD	

OVERALL TOTAL = 17,045 GPD

LEGEND	
	FIRE HYDRANT
	WATER MAIN
	TRANSFORMER
	ELECTRIC METER BANK
	ELECTRIC JUNCTION BOX
	UNDER GROUND ELECTRICAL
	FIRE WATER
	DOMESTIC WATER
	WATER VALVE



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NO.	DATE	REVISION
5	11-17-25	REVISED PER SITE PLAN
4	4-18-25	REVISED PER SITE PLAN
3	7-18-24	REVISED PER SITE PLAN
2	8-13-24	REVISED WATER & SEWER
1	3-19-24	ADDED WATER MAIN & GENERAL NOTES; RELOCATED WATER SERVICE LINE

DRAWING TITLE
UTILITY PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY C.B. JR	CHECKED BY C.J.B
SCALE 1" = 30'	PROJECT NO. 21-210
DATE 10-12-23	REVISION NO. 5

DRAWING NO.

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C2.4

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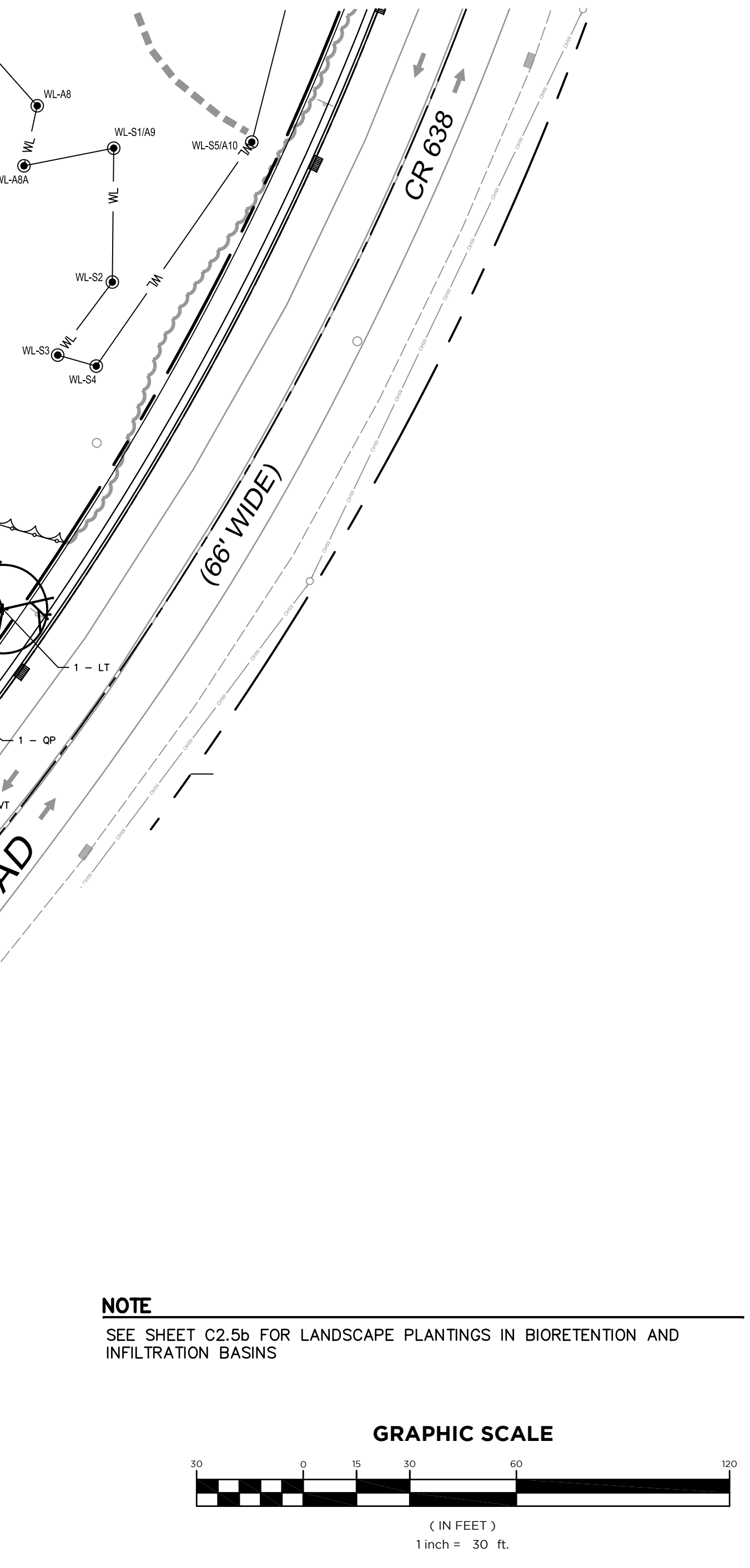


LIGHTING SCHEDULE									
CONTOUR LEVELS: A= 5.00 B= 1.00 C= 0.50									
Residential Development (21-210) LUMINAIRE SCHEDULE									
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	ULF	QTY		
A1	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-1-HS	(1) LEDs	3758	16 FT. 3000K Warm White LEDs, Type 1 Distribution with House Side Shield + Dimmable	0.85	1		
A2	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-2	(1) LEDs	5736	16 FT. 3000K Warm White LEDs, Type 2 Distribution + Dimmable	0.85	2		
A3	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-3	(1) LEDs	5529	16 FT. 3000K Warm White LEDs, Type 3 Distribution + Dimmable	0.85	3		
A3S	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-3-HS	(1) LEDs	3157	16 FT. 3000K Warm White LEDs, Type 3 Distribution with House Side Shield + Dimmable	0.85	1		
A4	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-4W	(1) LEDs	5564	16 FT. 3000K Warm White LEDs, Type 4 Wide Distribution with House Side Shield + Dimmable	0.85	11		
A4S	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-4W-HS	(1) LEDs	3253	16 FT. 3000K Warm White LEDs, Type 4 Wide Distribution with House Side Shield + Dimmable	0.85	7		
A5W	●	ARCHITECTURAL AREA LIGHTING (1) PROV2-36L-510-3K7-5W	(1) LEDs	5612	16 FT. 3000K Warm White LEDs, Type 5 Wide Distribution + Dimmable	0.85	3		
B2	●	ARCHITECTURAL AREA LIGHTING (1) PROS-Y2-2030	(1) LEDs	1929	12 FT. 3000K Warm White LEDs, Type 2 Distribution + Dimmable	0.85	1		
B3	●	ARCHITECTURAL AREA LIGHTING (1) PROS-13-2030	(1) LEDs	1904	12 FT. 3000K Warm White LEDs, Type 3 Distribution + Dimmable	0.85	3		
B4	●	ARCHITECTURAL AREA LIGHTING (1) PROS-Y4-2030	(1) LEDs	1881	12 FT. 3000K Warm White LEDs, Type 4 Distribution + Dimmable	0.85	1		
W1	☀	LSI INDUSTRIES, (1) XWS-LED-02L-FTW-30-8000R	(1) LEDs	2175	12 FT. 3000K Warm White LEDs, Forward Throw Distribution	0.85	2		
W2	☀	(1) LEDbulb_9W_A60_E27_830_FR-ES	(1) LEDs	806	7 FT. 3000K Warm White LEDs, 9W LED Bulb Symmetrical Distribution	0.85	28		
W3	☀	(1) LEDbulb_9W_A60_E27_830_FR-ES	(1) LEDs	806	8.5 FT. 3000K Warm White LEDs, 9W LED Bulb Symmetrical Distribution	0.85	89		
W4	☀	GARCO (1) GWM-A06-830-14M	(1) LEDs	5216	7.5 FT. 3000K Warm White LEDs, Type 4 Distribution	0.85	5		
W5	☀	GARCO (1) GWM-A06-830-12M	(1) LEDs	6363	7.5 FT. 3000K Warm White LEDs, Type 2 Distribution	0.85	4		

NOTE: ALL AREA LIGHTS ("A" AND "B") TO BE DIMMED TO 50% AT 11:00 PM
AREA LIGHTS AT POOL AND DOG RUN (DESIGNATED "B3") TO BE TURNED OFF AT 11:00 PM

LIGHTING NOTES

1. DIM TO 50% AFTER 12AM TO DUSK



PLANT LIST						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE HEIGHT	MATURE SIZE HEIGHT	SPACING
DECIDUOUS SHADE TREES						
AR	5	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	10' - 12' 2" - 2 1/2" CAL.	B&B 40' - 50' 30' - 40'	30' O.C.
AS	7	ACER SACCHARINUM	SILVER MAPLE	10' - 12' 2" - 2 1/2" CAL.	B&B 50' - 70' 30' - 50'	30' O.C.
GB	7	GINKGO BILOBA (MALE SPECIMENS ONLY)	MAIDENHAIR TREE	10' - 12' 2" - 2 1/2" CAL.	B&B 50' - 80' 30' - 40'	30' O.C.
LT	6	LIRIODENDRON TULIP TREE	TULIP TREE	10' - 12' 2" - 2 1/2" CAL.	B&B 60' - 90' 30' - 50'	30' O.C.
NS	6	NYSSA AYLVAITICA	BLACK GUM	10' - 12' 2" - 2 1/2" CAL.	B&B 30' - 50' 20' - 30'	30' O.C.
PA	7	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	10' - 12' 2" - 2 1/2" CAL.	B&B 75' - 100' 75' - 100'	30' O.C.
TA	7	TILIA AMERICANA	AMERICAN LINDEN	10' - 12' 2" - 2 1/2" CAL.	B&B 50' - 80' 30' - 50'	30' O.C.
QP	7	QUERCUS PHellos	WILLOW OAK	10' - 12' 2" - 2 1/2" CAL.	B&B 40' - 75' 25' - 50'	30' O.C.
QR	7	QUERCUS RUBRA	RED OAK	10' - 12' 2" - 2 1/2" CAL.	B&B 50' - 75' 50' - 75'	30' O.C.
EVERGREEN TREES						
JCS	10	JUNIPERUS CHINENSIS "SPARTAN"	SPARTAN JUNIPER	4' - 6' 1" - 1 1/2" CAL.	B&B 15' - 20' 8' - 10'	8' O.C.
TP	11	THUJA PLICATA "STANDISH"	GREEN GIANT ARBOREVIETAE	4' - 6' 1" - 1 1/2" CAL.	B&B 50' - 60' 15' - 20'	12' O.C.
TOT	11	THUJA OCCIDENTALIS "TECHNY"	TECHNY ARBOREVIETAE	4' - 6' 1" - 1 1/2" CAL.	B&B 12' - 15' 6' - 8'	8' O.C.
ORNAMENTAL TREES						
AC	3	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	5' - 6' 1" - 1 1/2" CAL.	B&B 25' - 30' 15' - 30'	AS SHOWN (18' O.C. MIN.)
CC	15	CERCIS CANADENSIS	EASTERN REDBUD	5' - 6' 1" - 1 1/2" CAL.	B&B 20' - 30' 25' - 30'	AS SHOWN (18' O.C. MIN.)
CF	8	CORNUS FLORIDA	FLOWERING DOGWOOD	5' - 6' 1" - 1 1/2" CAL.	B&B 15' - 30' 15' - 30'	AS SHOWN (18' O.C. MIN.)
HV	2	HAMAMELIS VIRGINIANA	AMERICAN WITCH-HAZEL	5' - 6' 1" - 1 1/2" CAL.	B&B 15' - 20' 15' - 20'	AS SHOWN (18' O.C. MIN.)
DECIDUOUS SHRUBS						
CA	5	CORNUS AMOMUM	SILKY DOGWOOD	18" - 24"	CONT. 6'-12' 6'-12'	5' O.C.
CEA	11	CEANOTHUS AMERICANUS	NEW JERSEY TEA	18" - 24"	CONT. 3'-4' 3'-5'	5' O.C.
COS	50	CORNUS SERICEA	REDOSIER DOGWOOD	18" - 24"	CONT. 7'-9' 5'-10'	5' O.C.
SJ	33	SPIRAEA JAPONICA "LITTLE PRINCESS"	LITTLE PRINCESS JAPANESE SPIRAEA	18" - 24"	CONT. 2'-3' 2'-3'	3' O.C.
SJG	9	SPIRAEA JAPONICA "GOLDMOUND"	GOLDMOUND JAPANESE SPIRAEA	18" - 24"	CONT. 2'-3' 2'-4'	3' O.C.
WB	93	WEIGELA FLORIDA "BOKRASPIW"	SPILLED WINE WEIGELA	18" - 24"	CONT. 2'-3' 3'-4'	3' O.C.
VD	26	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	18" - 24"	CONT. 6'-10' 6'-10'	5' O.C.
PO	56	PHYDOCARPUS OPULIFOLIUS	NINEBARK	18" - 24"	CONT. 5'-8' 4'-6'	5' O.C.
ST	12	SPIREA TOMENTOSA	STEEPLEBUSH	18" - 24"	CONT. 3'-4' 3'-5'	5' O.C.
VT	52	VIBURNUM PLICATUM VAR. TOMENTOSUM	DOUBLE FIRE VIBURNUM	18" - 24"	CONT. 8'-10' 8'-12'	5' O.C.
EVERGREEN SHRUBS						
IG	67	ILEX GLABRA	INKBERRY	18" - 24"	CONT. 5'-6' 5'-8'	5' O.C.
JH	13	JUNIPERUS HORIZONTALIS "BAR HARBOR"	BAR HARBOR JUNIPER	4" - 6" (36" SPREAD MIN.)	CONT. 9' - 12' 5' - 6'	4' O.C.
RM	23	RHOXODENDRON MICRONATIUM "DELAWARE VALLEY WHITE"	DELAWARE VALLEY WHITE AZALEA	18" - 24"	CONT. 3' - 5' 4' - 5'	4' O.C.
RHC	47	RHOXODENDRON X "HINO-CRIMSON"	HINO-CRIMSON AZALEA	18" - 24"	CONT. 3' - 5' 3' - 5'	4' O.C.
TO	34	THUJA OCCIDENTALIS "SMARAGD"	EMERALD GREEN ARBOREVIETAE	4" - 6"	B&B 10' - 15' 3' - 5'	4' O.C.
AU	20	ARCTOSTAPHYLOS LUNA-URSIS	BEARBERRY	3" - 6"	CONT. 6'-12' 15'	2' O.C.

LANDSCAPE KEY	
	DECIDUOUS SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS

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ERIC M. HOUGH, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

5	11-17-25	REVISED LANDSCAPING AS PER SITE PLAN. ADDED SHOT TRIANGLES. ADDED MORE SHADE TREES AND SHRUBS	J.B.B.
4	4-18-25	REVISED LANDSCAPING & LIGHTING AS PER SITE PLAN	J.A.S.
3	7-18-24	REVISED PER SITE PLAN	J.A.S.
2	8-13-24	REVISED LANDSCAPING & LIGHTING PER REVISED SITE LAYOUT	J.A.S.
1	3-19-24	REVISED AS PER SITE PLAN	J.A.S.
NO.	DATE	REVISION	VL

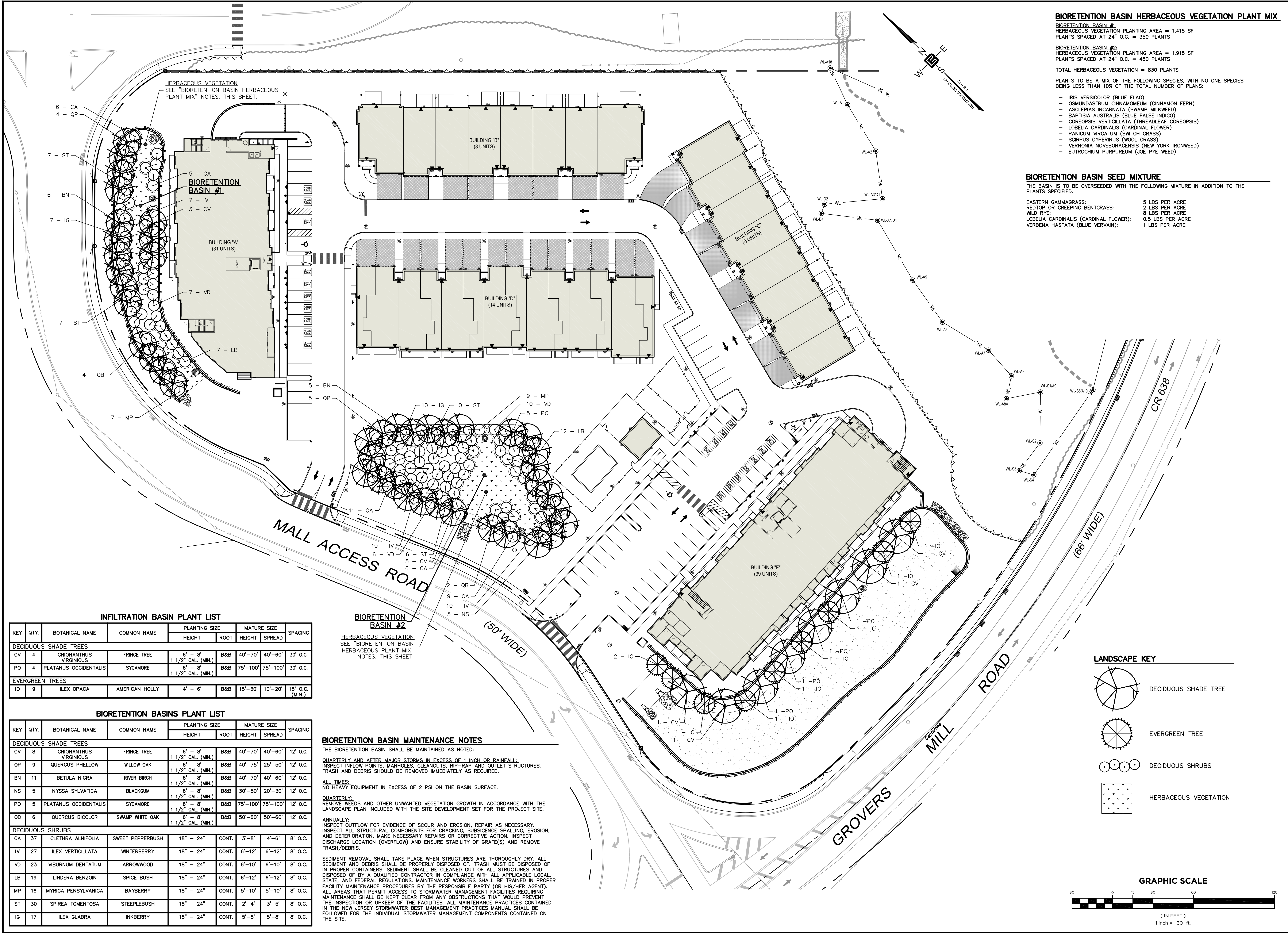
DRAWING TITLE
LIGHTING & LANDSCAPE PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 420101, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800
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SCALE 1" = 30' PROJECT NO. 21-210
DATE 10-12-23 REVISION NO. 5
DRAWING NO.

C2.5a



BIORETENTION BASIN HERBACEOUS VEGETATION PLANT MIX

BIORETENTION BASIN #1:
HERBACEOUS VEGETATION PLANTING AREA = 1,415 SF
PLANTS SPACED AT 24" O.C. = 350 PLANTS

BIORETENTION BASIN #2:
HERBACEOUS VEGETATION PLANTING AREA = 1,918 SF
PLANTS SPACED AT 24" O.C. = 480 PLANTS

TOTAL HERBACEOUS VEGETATION = 830 PLANTS

PLANTS TO BE A MIX OF THE FOLLOWING SPECIES, WITH NO ONE SPECIES BEING LESS THAN 10% OF THE TOTAL NUMBER OF PLANTS:

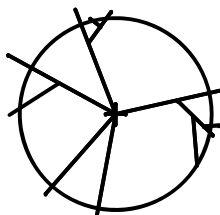
- IRIS VERSICOLOR (BLUE FLAG)
- OSMUNDASTRUM CINNAMOMEUM (CINNAMON FERN)
- ASCLEPIAS INCARNATA (SWAMP MILKWEED)
- BAPTISIA AUSTRALIS (BLUE FALSE INDIGO)
- COREOPSIS VERTICILLATA (THREADLEAF COREOPSIS)
- LOBELIA CARDINALIS (CARDINAL FLOWER)
- PANICUM VIRGATUM (SWITCH GRASS)
- SCORPUS CYPERINUS (WOOL GRASS)
- VERNONIA NOVEBORACENSIS (NEW YORK IRONWEED)
- EUTROCHUM PURPUREUM (JOE PYE WEED)

BIORETENTION BASIN SEED MIXTURE

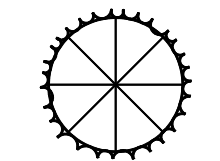
THE BASIN IS TO BE OVERSEED WITH THE FOLLOWING MIXTURE IN ADDITION TO THE PLANTS SPECIFIED.

EASTERN GAMMAGRASS: 5 LBS PER ACRE
REDTOP OR CREEPING BENTGRASS: 2 LBS PER ACRE
WILD RYE: 8 LBS PER ACRE
LOBELIA CARDINALIS (CARDINAL FLOWER): 0.5 LBS PER ACRE
VERBENA HASTATA (BLUE VERVAIN): 1 LBS PER ACRE

LANDSCAPE KEY



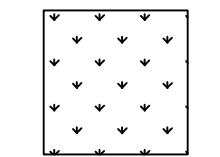
DECIDUOUS SHADE TREE



EVERGREEN TREE



DECIDUOUS SHRUBS



HERBACEOUS VEGETATION

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

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NH LIC. NO. 9368 RI LIC. NO. 6694

ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER

NJ LIC. NO. 51893

DRAWING TITLE

LANDSCAPE PLAN -
BIORETENTION &
INFILTRATION
BASINS

PROJECT

**RESIDENTIAL
DEVELOPMENT**

BLOCK 420101, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

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J.A.S.

CHECKED BY

C.J.B.

SCALE

1" = 30'

PROJECT NO.

21-210

DATE

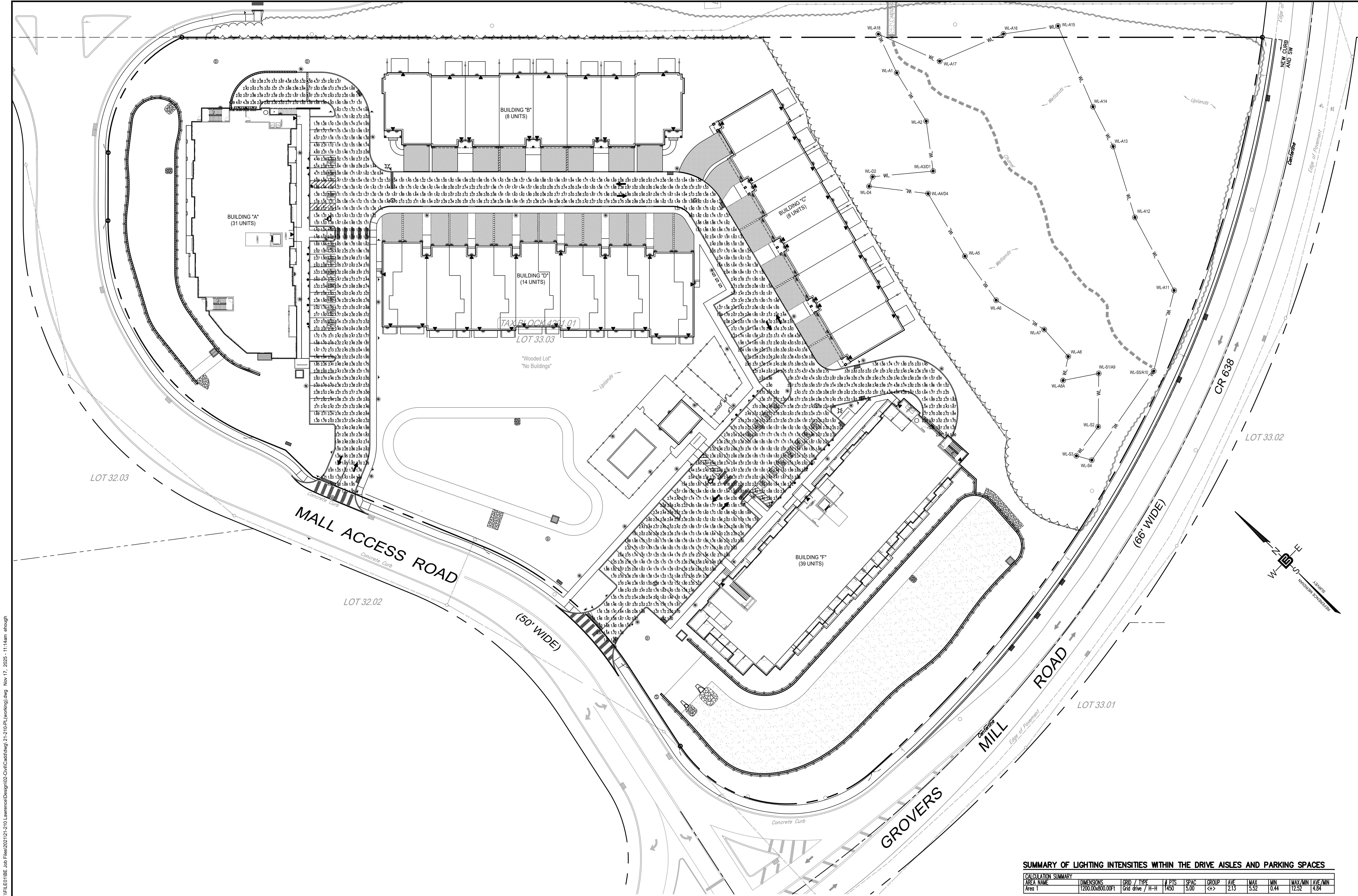
11-17-25

REVISION NO.

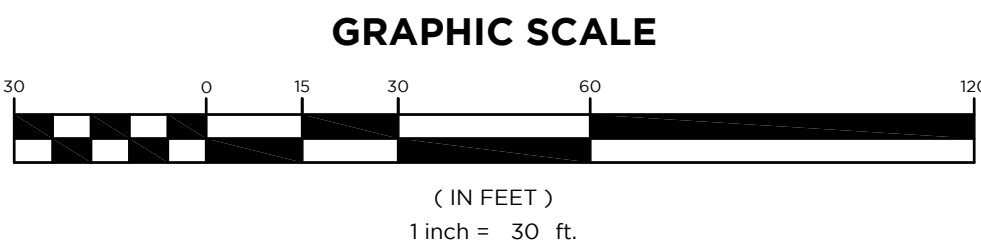
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DRAWING NO.

C2.5b



SUMMARY OF LIGHTING INTENSITIES WITHIN THE DRIVE AISLES AND PARKING SPACES										
CALCULATION SUMMARY										
AREA NAME	DIMENSIONS	GRID / TYPE	# PIS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	Avg/Min
Area 1	1200.06x800.00ft	Grid drive / H-H	1450	5.00	<4>	2.13	5.32	0.44	12.52	4.84






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PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

		J.A.S.	J.A.S.	VL	VL
5	11-17-25	REVISED AS PER SITE PLAN			
4	4-18-25	REVISED AS PER SITE PLAN			
3	7-18-24	REVISED AS PER SITE PLAN			
2	6-13-24	REVISED LIGHTING INTENSITIES PER REVISED SITE LAYOUT	J.A.S.		
1	3-19-24	REVISED AS PER SITE PLAN			
NO.	DATE				REVISION

DRAWING TITLE

LIGHTING
INTENSITIES
PLAN

PROJECT

RESIDENTIAL
DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

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VL

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C.J.B

SCALE
1" = 30'

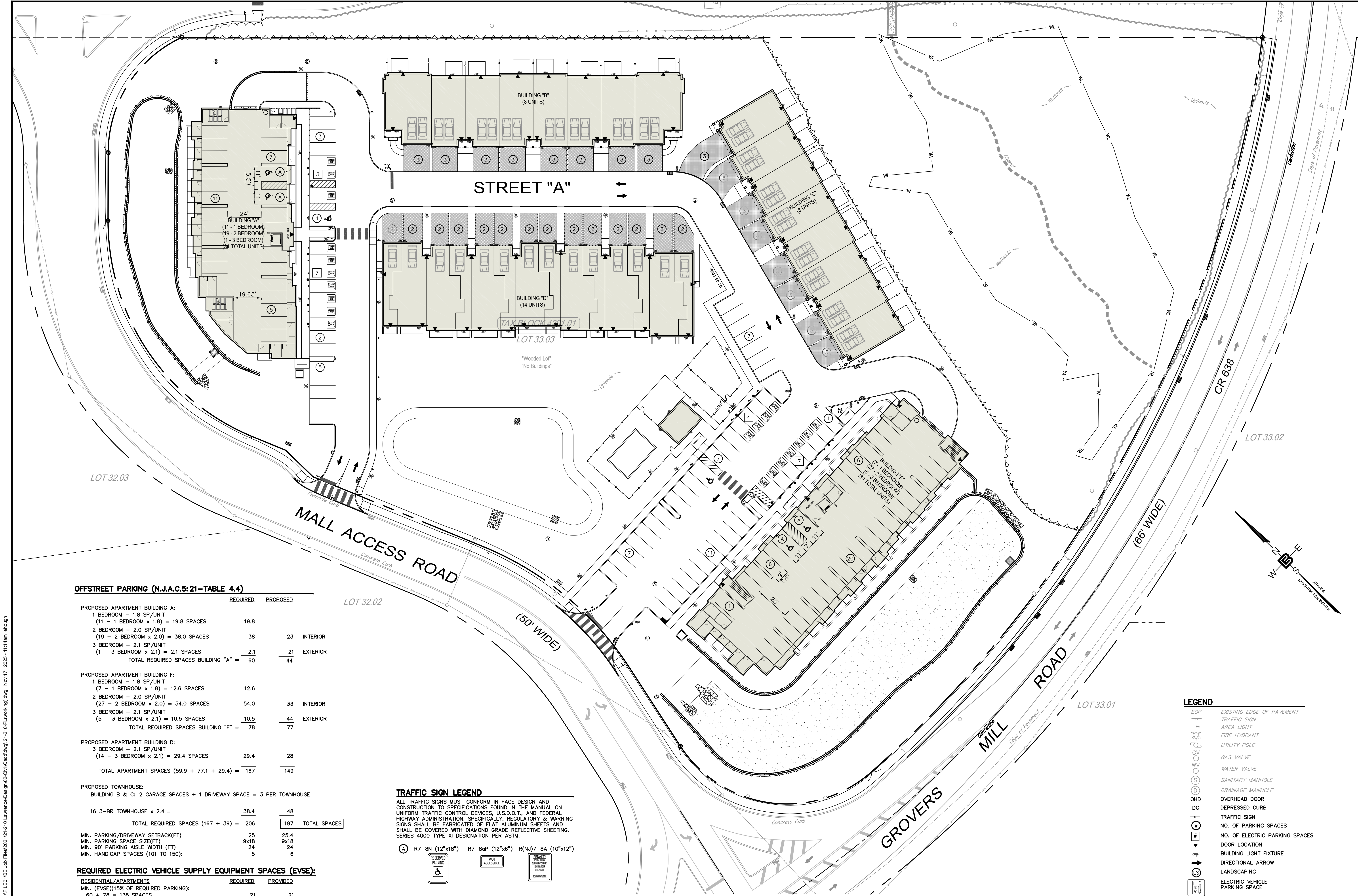
PROJECT NO.
21-210

DATE
10-12-23

REVISION NO.
5

DRAWING NO.

C2.6



OFFSTREET PARKING (N.J.A.C.5:21-TABLE 4.4)

	REQUIRED	PROPOSED	
PROPOSED APARTMENT BUILDING A:			
1 BEDROOM - 1.8 SP/UNIT			
(11 - 1 BEDROOM x 1.8) = 19.8 SPACES	19.8		
2 BEDROOM - 2.0 SP/UNIT			
(19 - 2 BEDROOM x 2.0) = 38.0 SPACES	38	23	INTERIOR
3 BEDROOM - 2.1 SP/UNIT			
(1 - 3 BEDROOM x 2.1) = 2.1 SPACES	2.1	21	EXTERIOR
TOTAL REQUIRED SPACES BUILDING "A" =	60	44	
PROPOSED APARTMENT BUILDING F:			
1 BEDROOM - 1.8 SP/UNIT			
(7 - 1 BEDROOM x 1.8) = 12.6 SPACES	12.6		
2 BEDROOM - 2.0 SP/UNIT			
(27 - 2 BEDROOM x 2.0) = 54.0 SPACES	54.0	33	INTERIOR
3 BEDROOM - 2.1 SP/UNIT			
(5 - 3 BEDROOM x 2.1) = 10.5 SPACES	10.5	44	EXTERIOR
TOTAL REQUIRED SPACES BUILDING "F" =	78	77	
PROPOSED APARTMENT BUILDING D:			
3 BEDROOM - 2.1 SP/UNIT			
(14 - 3 BEDROOM x 2.1) = 29.4 SPACES	29.4	28	
TOTAL APARTMENT SPACES (59.9 + 77.1 + 29.4) =	167	149	
PROPOSED TOWNHOUSE:			
BUILDING B & C: 2 GARAGE SPACES + 1 DRIVEWAY SPACE = 3 PER TOWNHOUSE			
16 3-BR TOWNHOUSE x 2.4 =	38.4	48	
TOTAL REQUIRED SPACES (167 + 39) =	206	197	TOTAL SPACES
MIN. PARKING/DRIVEWAY SETBACK(FT)	25	25.4	
MIN. PARKING SPACE SIZE(FT)	9x18	9x18	
MIN. 90° PARKING AISLE WIDTH (FT)	24	24	
MIN. HANDICAP SPACES (101 TO 150):	5	6	

REQUIRED ELECTRIC VEHICLE SUPPLY EQUIPMENT SPACES (EVSE):

RESIDENTIAL/APARTMENTS	REQUIRED	PROVIDED
MIN. (EVSE)(15% OF REQUIRED PARKING):		
60 + 78 = 138 SPACES	21	21
(138 SP x .15) = 20.7		
MIN. ADA EVSE (5% OF EVSE SP):		
(20.7 SP x .05) = 1.04	2	2
TOTAL EVSE SPACES =	21	

REDUCTION IN REQUIRED PARKING SPACES PER EVSE CREDIT

TOTAL SPACES REQUIRED =	206
EVSE CREDIT (2 TO 1)(MAX. 10% OF TOTAL SPACES REQUIRED) =	13
TOTAL ADJUSTED REQUIRED SPACES =	193
REQUIRED SPACES	

TRAFFIC SIGN LEGEND

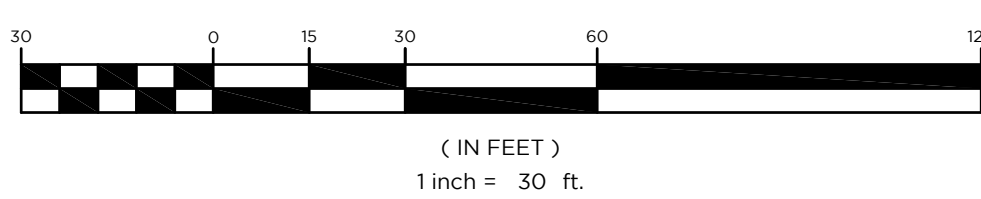
ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., AND FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING, SERIES 4000 TYPE XI DESIGNATION PER ASTM.

A R7-8N (12"x18")	R7-8aP (12"x6")	R(NJ)7-8A (10"x12")

LEGEND

EQP	EXISTING EDGE OF PAVEMENT
TRAFFIC SIGN	TRAFFIC SIGN
AREA LIGHT	AREA LIGHT
FIRE HYDRANT	FIRE HYDRANT
UTILITY POLE	UTILITY POLE
GAS VALVE	GAS VALVE
WATER VALVE	WATER VALVE
SANITARY MANHOLE	SANITARY MANHOLE
DRAINAGE MANHOLE	DRAINAGE MANHOLE
OVERHEAD DOOR	OVERHEAD DOOR
DEPRESSED CURB	DEPRESSED CURB
TRAFFIC SIGN	TRAFFIC SIGN
NO. OF PARKING SPACES	NO. OF PARKING SPACES
NO. OF ELECTRIC PARKING SPACES	NO. OF ELECTRIC PARKING SPACES
DOOR LOCATION	DOOR LOCATION
BUILDING LIGHT FIXTURE	BUILDING LIGHT FIXTURE
DIRECTIONAL ARROW	DIRECTIONAL ARROW
LANDSCAPING	LANDSCAPING
ELECTRIC VEHICLE PARKING SPACE	ELECTRIC VEHICLE PARKING SPACE

GRAPHIC SCALE



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NO.	DATE	REVISION
1	1-17-25	REVISED AS PER SITE PLAN
2	4-18-25	REVISED AS PER SITE PLAN
3	7-18-24	REVISED AS PER SITE PLAN
4	8-13-24	REVISED AS PER SITE PLAN
5	1-17-25	REVISED AS PER SITE PLAN

DRAWING TITLE
PARKING PLAN

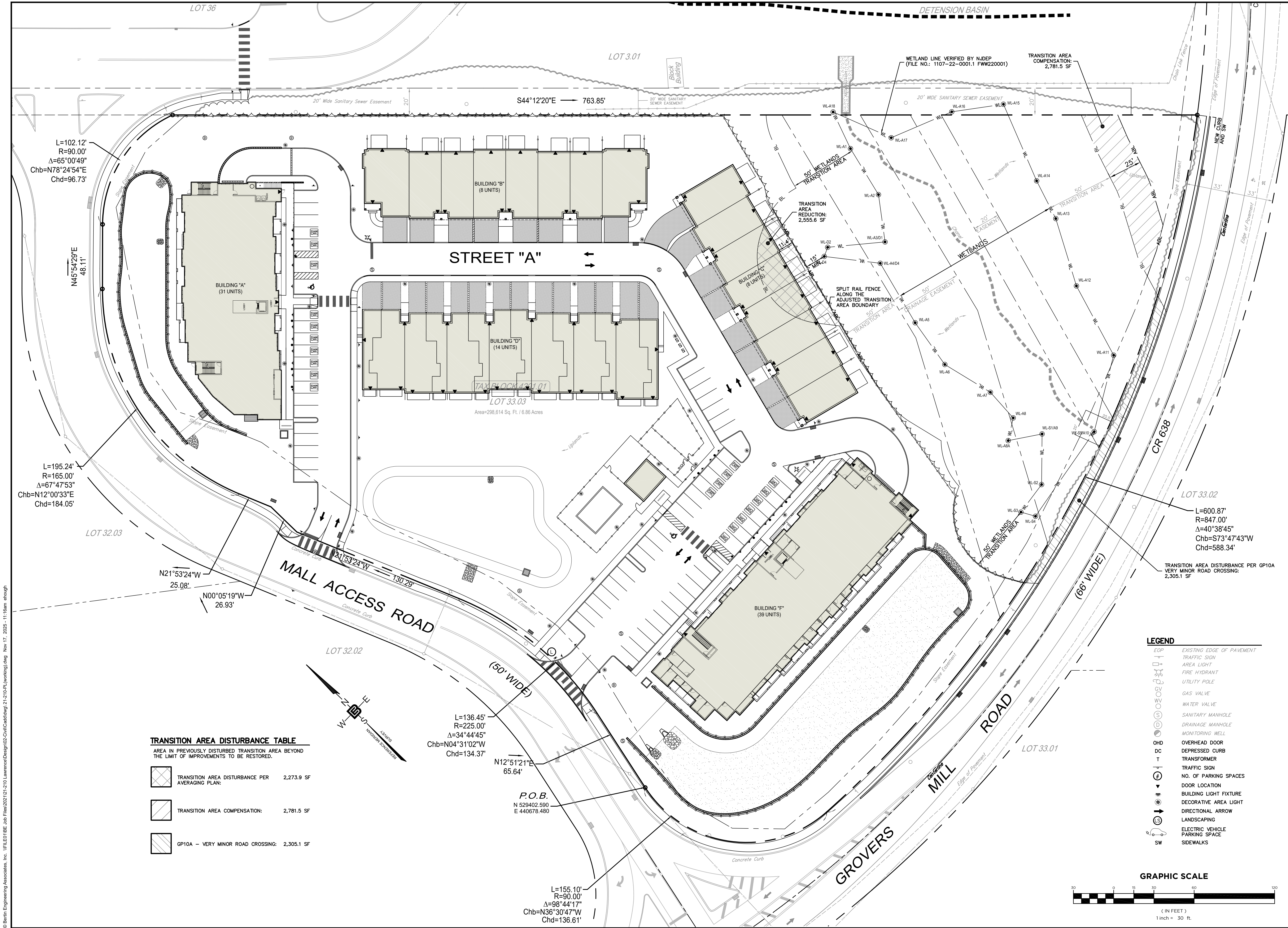
PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800
DRAWN BY: VL CHECKED BY: C.J.B.
SCALE: 1" = 30' PROJECT NO: 21-210
DATE: 10-12-23 REVISION NO: 5
DRAWING NO:

C2.7

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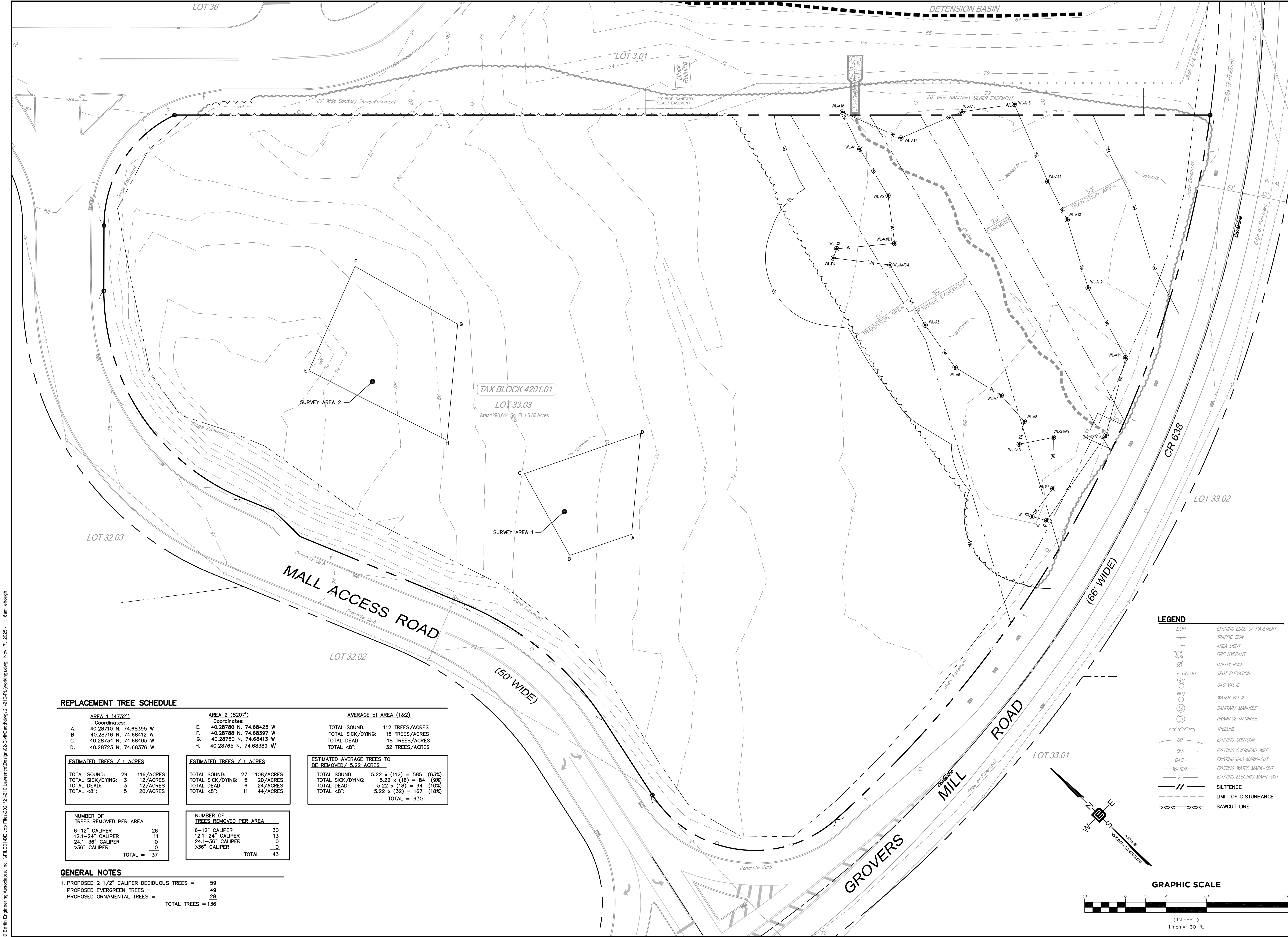
NO.	DATE	REVISION
5	11-17-25	REVISED AS PER SITE PLAN
4	4-18-25	REVISED AS PER SITE PLAN
3	7-18-24	ADD SPLIT RAIL FENCE; REVISE TRANSITION AREA COMPENSATION
2	6-13-24	REVISED AS PER SITE PLAN
1	3-19-24	REVISED AS PER SITE PLAN

DRAWING TITLE
WETLANDS PERMITTING PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
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CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800
DRAWN BY: M.B.L. CHECKED BY: C.J.B.
SCALE: 1" = 30' PROJECT NO: 21-210
DATE: 3-6-24 REVISION NO: 5
DRAWING NO: **C2.9**



REPLACEMENT TREE SCHEDULE

AREA 1 (4732')		AREA 2 (8207')		AVERAGE of AREA (1&2)	
Coordinates:		Coordinates:		Coordinates:	
A.	40.28710 N, 74.68395 W	E.	40.28780 N, 74.68425 W	TOTAL SOUND:	112 TREES/ACRES
B.	40.28716 N, 74.68412 W	F.	40.28788 N, 74.68397 W	TOTAL SICK/DYING:	16 TREES/ACRES
C.	40.28734 N, 74.68405 W	G.	40.28750 N, 74.68413 W	TOTAL DEAD:	18 TREES/ACRES
D.	40.28723 N, 74.68376 W	H.	40.28765 N, 74.68389 W	TOTAL <8":	32 TREES/ACRES
ESTIMATED TREES / 1 ACRES		ESTIMATED TREES / 1 ACRES		ESTIMATED AVERAGE TREES TO BE REMOVED / 5.22 ACRES	
TOTAL SOUND:	29 116/ACRES	TOTAL SOUND:	27 108/ACRES	TOTAL SOUND:	5.22 x (112) = 585 (63%)
TOTAL SICK/DYING:	3 12/ACRES	TOTAL SICK/DYING:	5 20/ACRES	TOTAL SICK/DYING:	5.22 x (16) = 84 (9%)
TOTAL DEAD:	3 12/ACRES	TOTAL DEAD:	6 24/ACRES	TOTAL DEAD:	5.22 x (18) = 94 (10%)
TOTAL <8":	5 20/ACRES	TOTAL <8":	11 44/ACRES	TOTAL <8":	5.22 x (32) = 167 (18%)
NUMBER OF TREES REMOVED PER AREA		NUMBER OF TREES REMOVED PER AREA		TOTAL = 930	
6-12" CALIPER	26	6-12" CALIPER	30		
12.1-24" CALIPER	11	12.1-24" CALIPER	13		
24.1-36" CALIPER	0	24.1-36" CALIPER	0		
>36" CALIPER	0	>36" CALIPER	0		
TOTAL = 37		TOTAL = 43			

GENERAL NOTES

- PROPOSED 2 1/2" CALIPER DECIDUOUS TREES = 59
 - PROPOSED EVERGREEN TREES = 49
 - PROPOSED ORNAMENTAL TREES = 28
- TOTAL TREES = 136

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NO.	DATE	REVISION
1	4-8-25	REVISE GENERAL NOTE #1
2	11-17-25	REVISE GENERAL NOTE #1

DRAWING TITLE
TREE REMOVAL PLAN

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
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TOWNSHIP OF LAWRENCE
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SCALE 1" = 30'	PROJECT NO. 21-210
DATE 3-19-24	REVISION NO. 2
DRAWING NO.	

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NO.	DATE	REVISION
1	4-8-25	REVISE GENERAL NOTE #1
2	11-17-25	REVISE GENERAL NOTE #1

DRAWING TITLE
TREE REMOVAL PLAN

PROJECT
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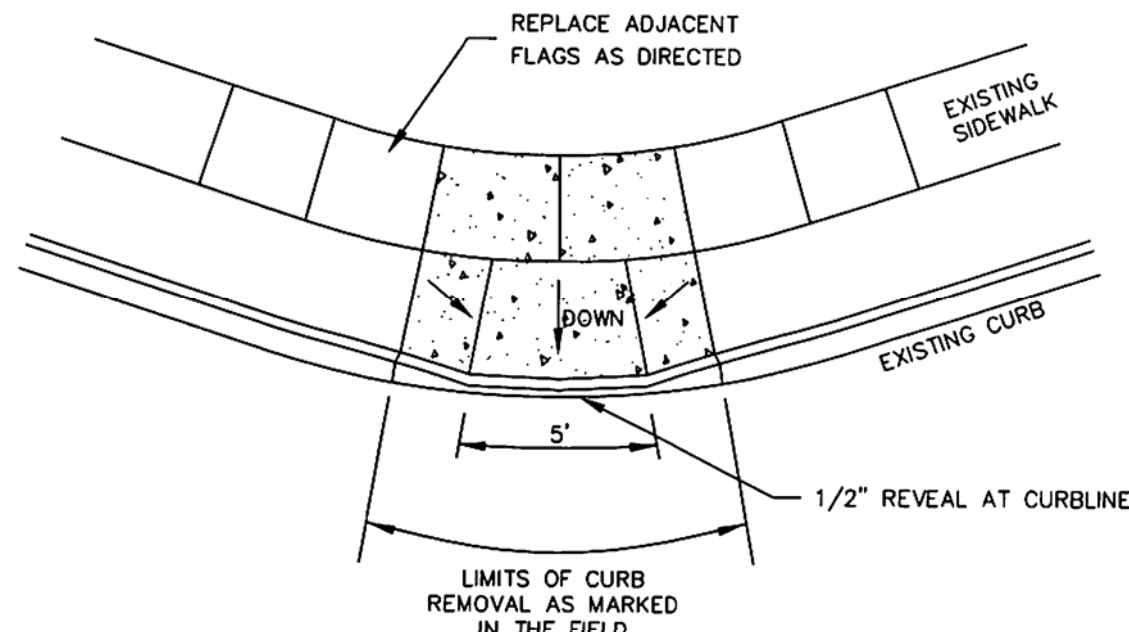
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SCALE 1" = 30'	PROJECT NO. 21-210
DATE 3-19-24	REVISION NO. 2
DRAWING NO.	

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DATE 3-19-24	REVISION NO. 2
DRAWING NO.	

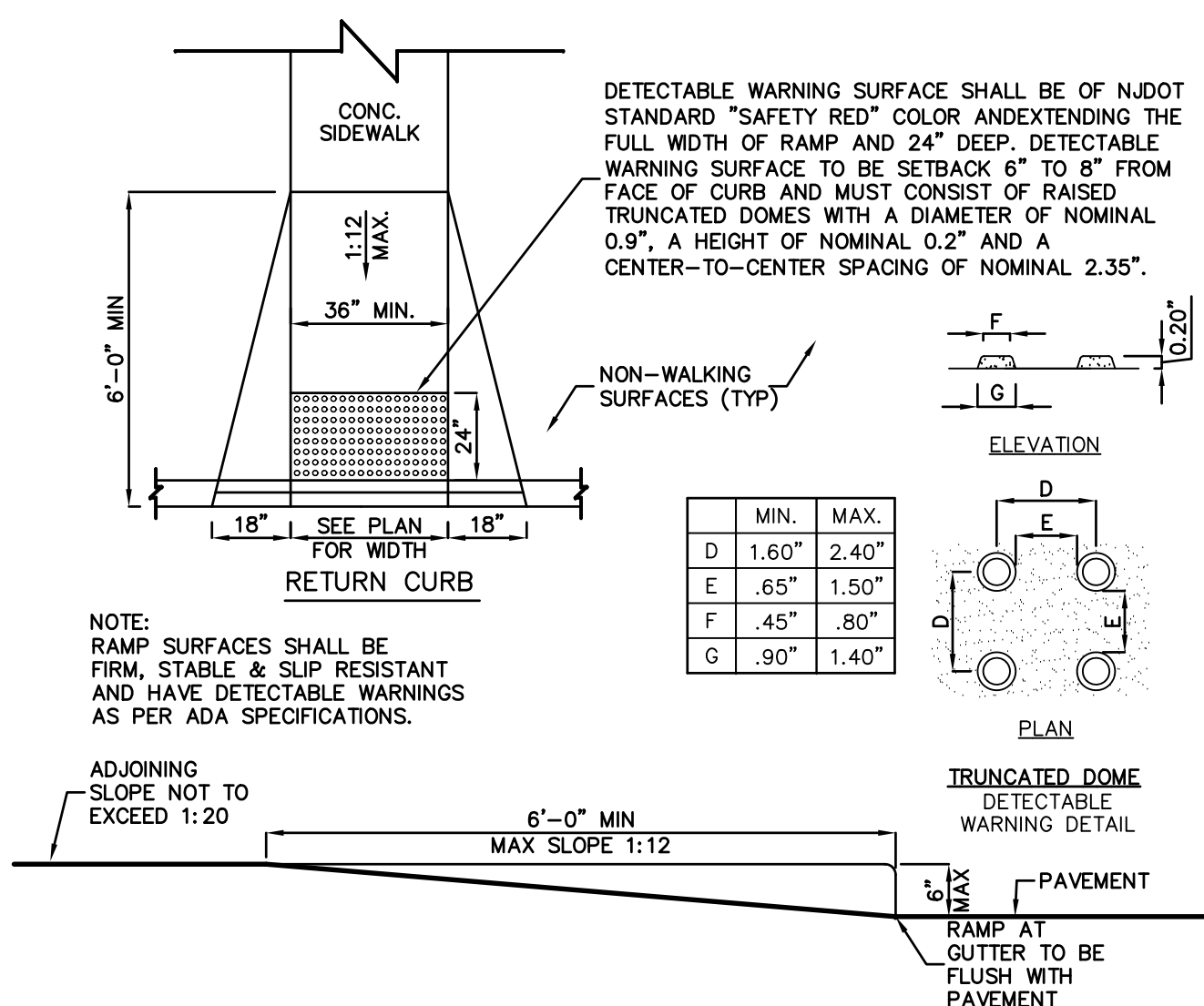
C2.10



CONCRETE SIDEWALK AND CURB TO BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS. RAMP SLOPE TO BE 1:12 MAXIMUM. EXPANSION JOINT LOCATIONS TO BE DETERMINED IN THE FIELD.

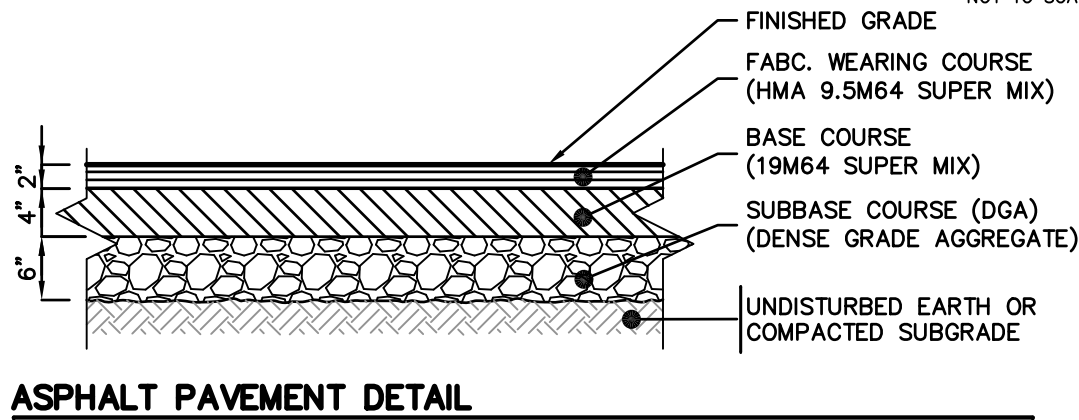
HANDICAP RAMP (LAWRENCE STANDARD DETAIL R-11)

NOT TO SCALE



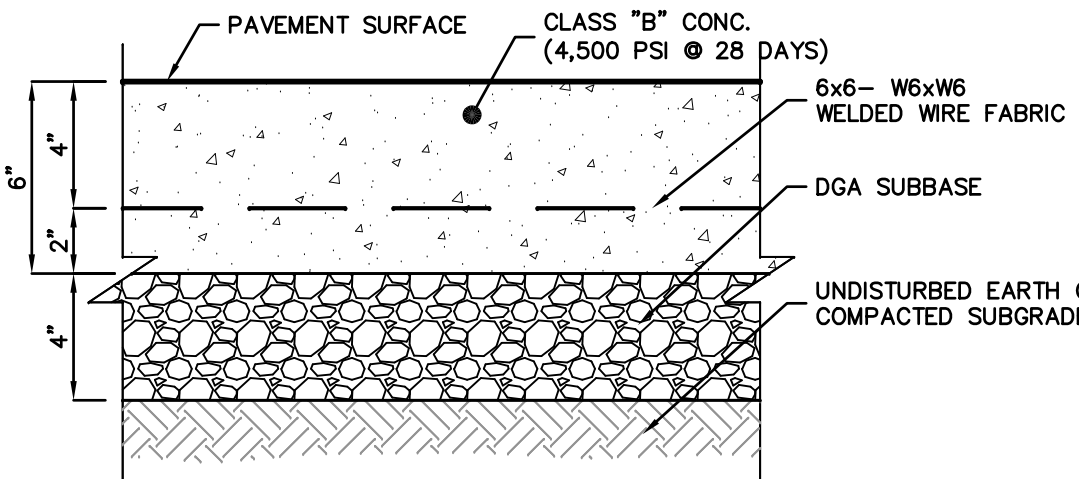
CONCRETE CURB RAMP (ADA REQUIREMENTS)

NOT TO SCALE



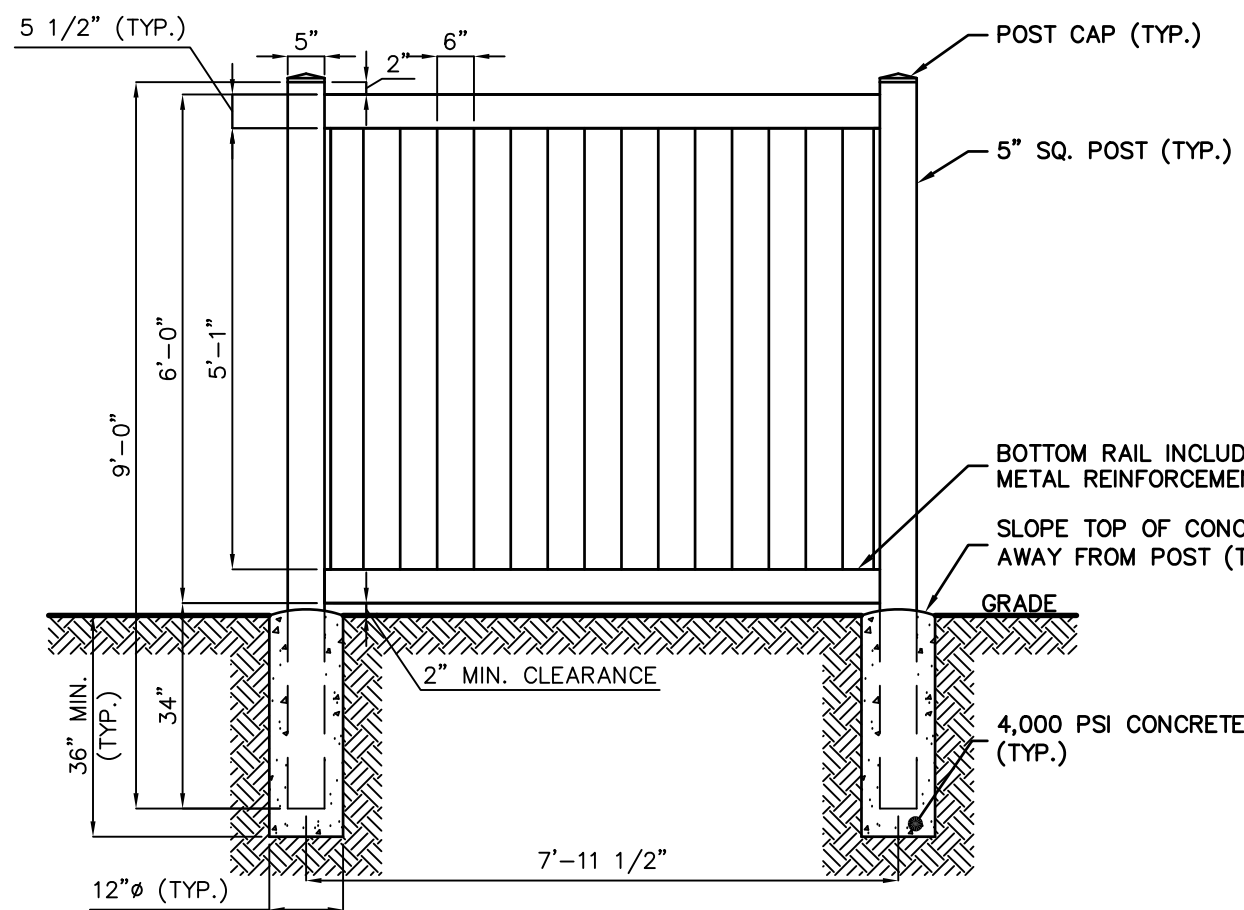
ASPHALT PAVEMENT DETAIL

NOT TO SCALE



CONCRETE PAVEMENT DETAIL

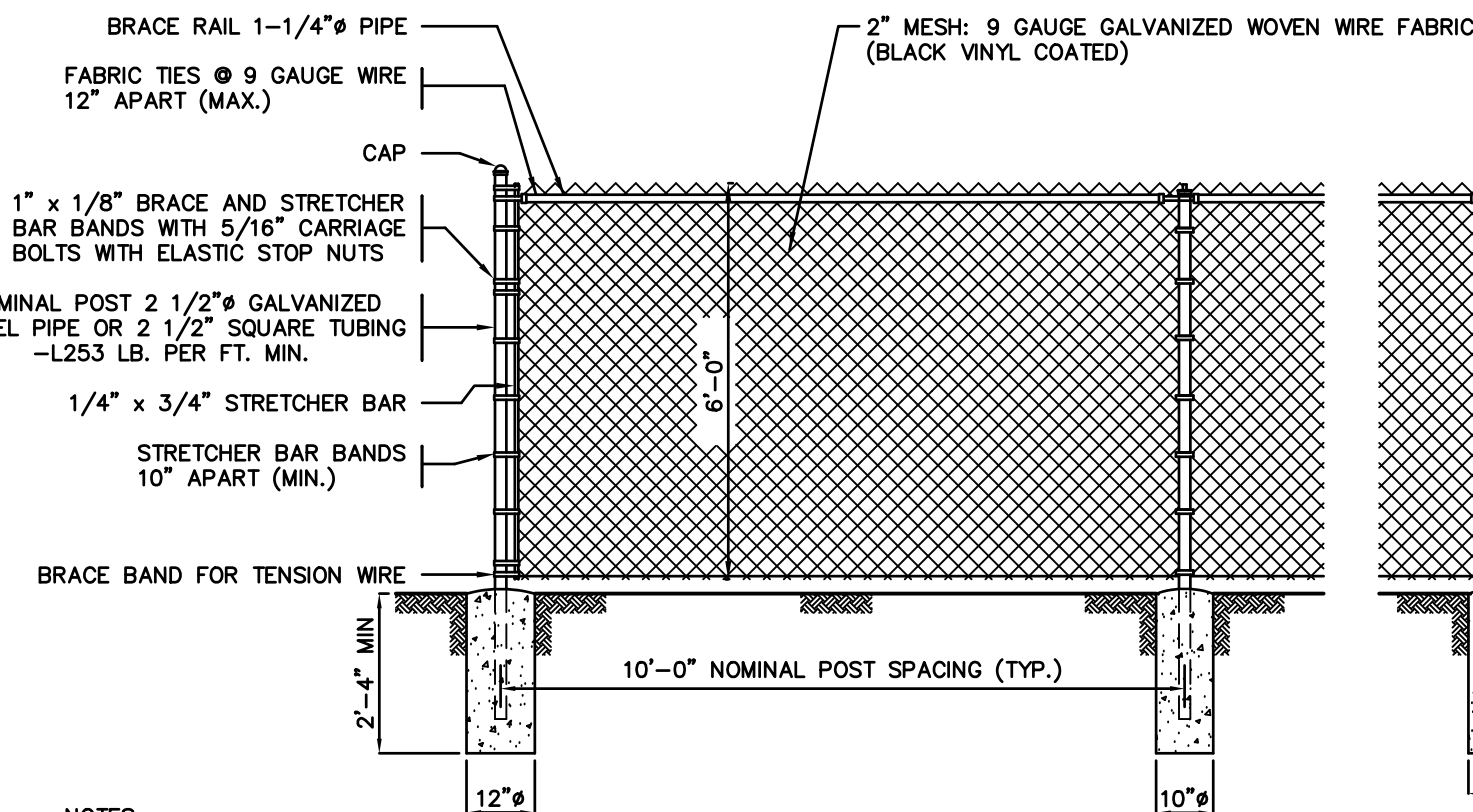
NOT TO SCALE



NOTES:
1. FENCE MANUFACTURER: ILLUSIONS VINYL FENCE, 274 MIDDLE ISLAND RD, MEDFORD, NY, 11763 (1-800-339-3362) OR APPROVED EQUAL.
2. INSTALLATION TO BE AS PER MANUFACTURER'S INSTRUCTIONS & RECOMMENDATIONS.

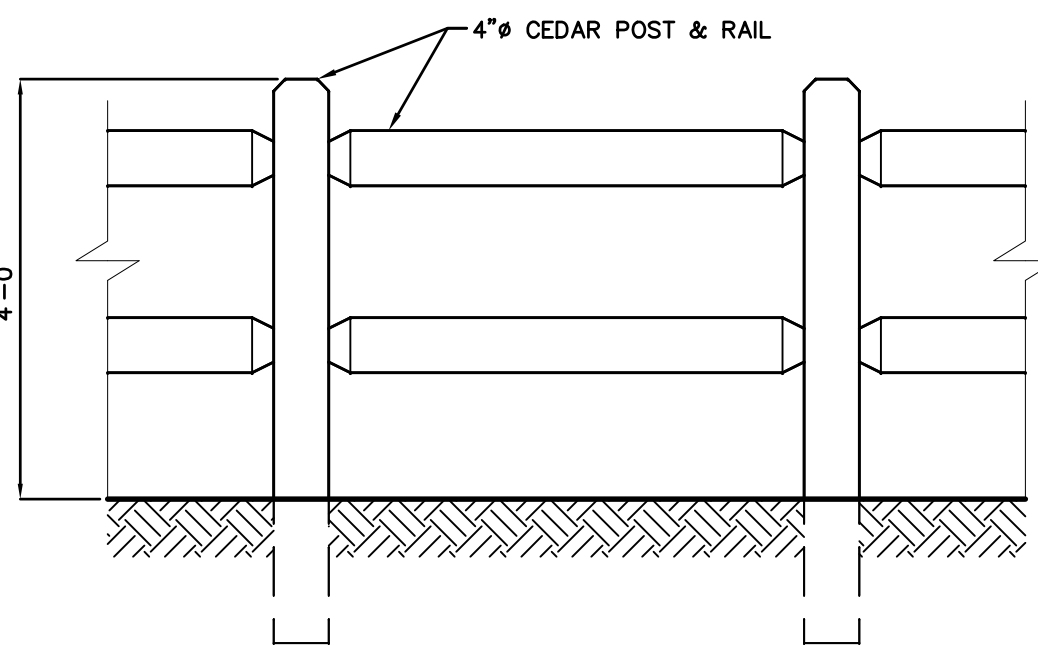
SOLID VINYL TONGUE AND GROOVE FENCE - 6' HT.

NOT TO SCALE



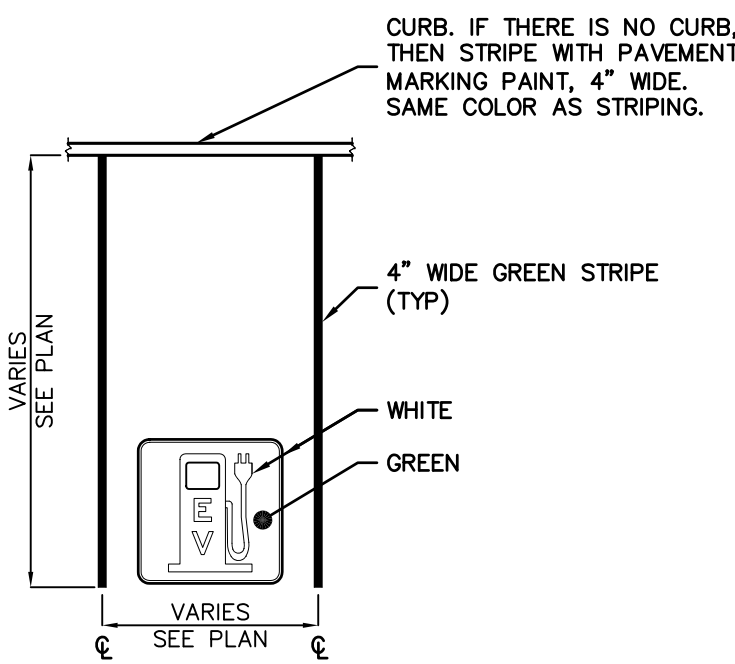
CHAIN LINK FENCE DETAIL

NOT TO SCALE



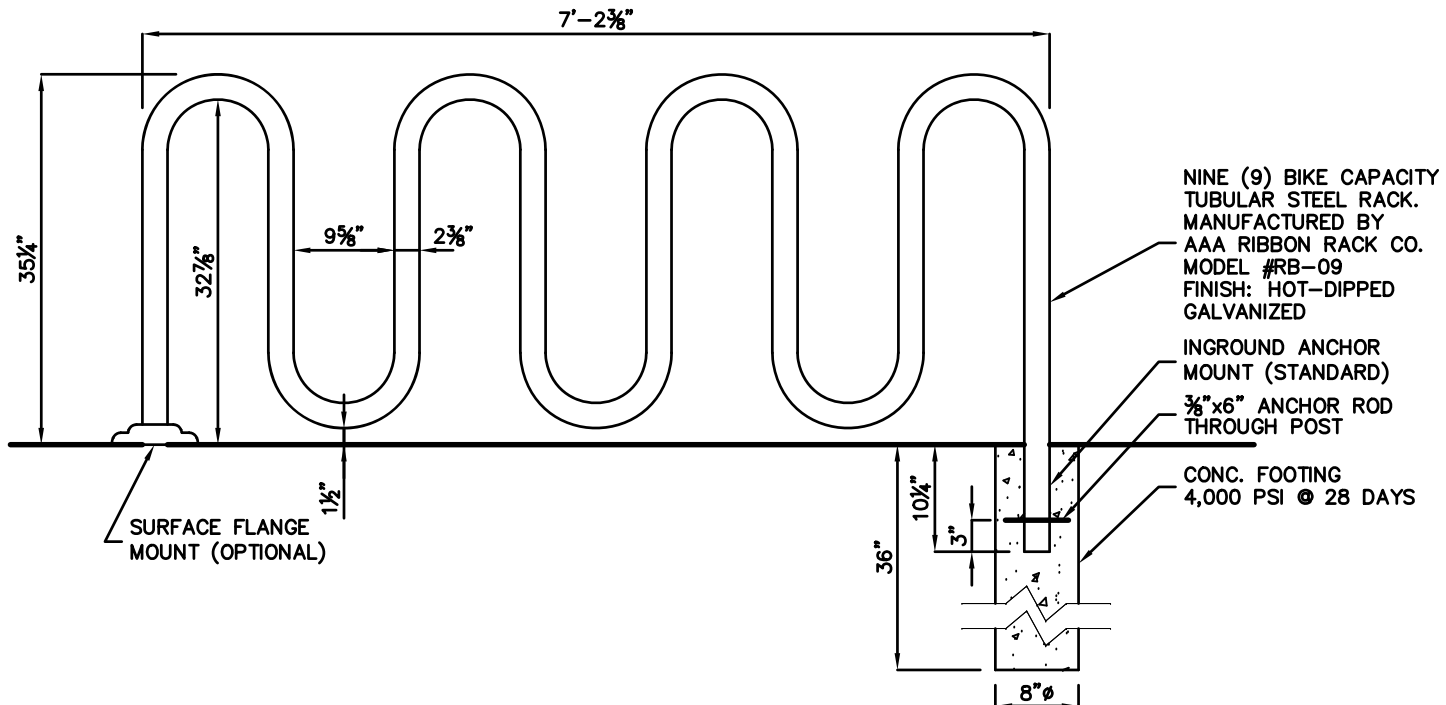
4' HT POST & RAIL FENCE

NOT TO SCALE



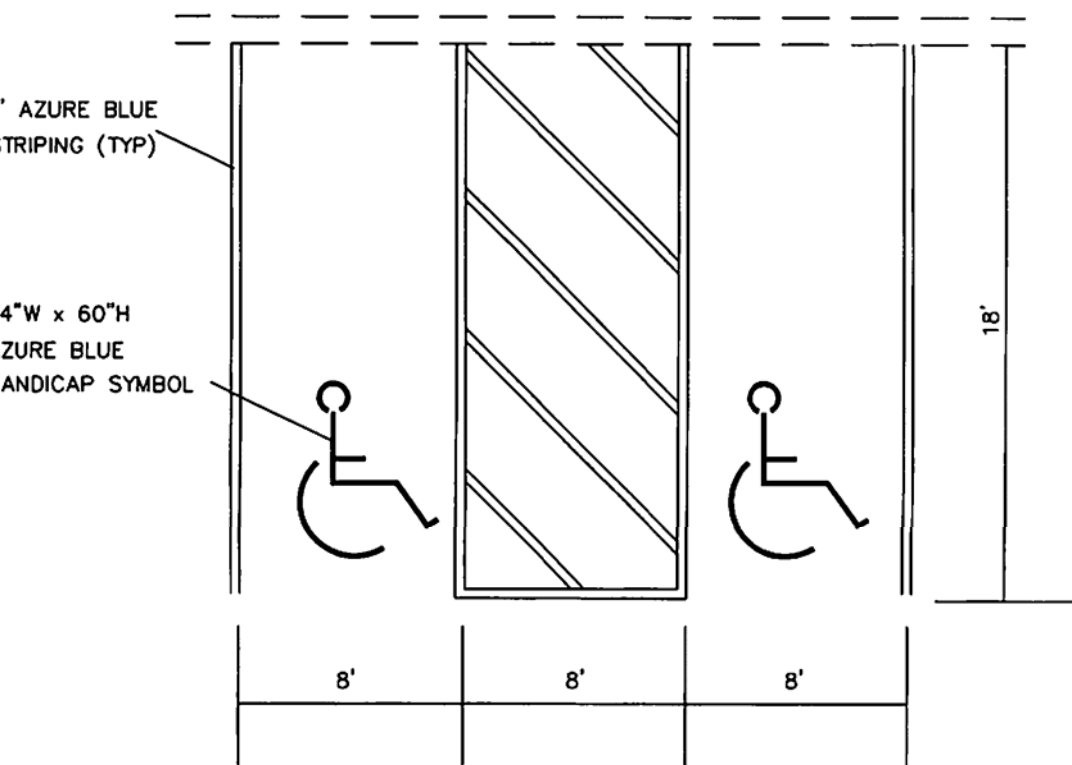
ELECTRIC VEHICLE PARKING SPACE STRIPING

NOT TO SCALE



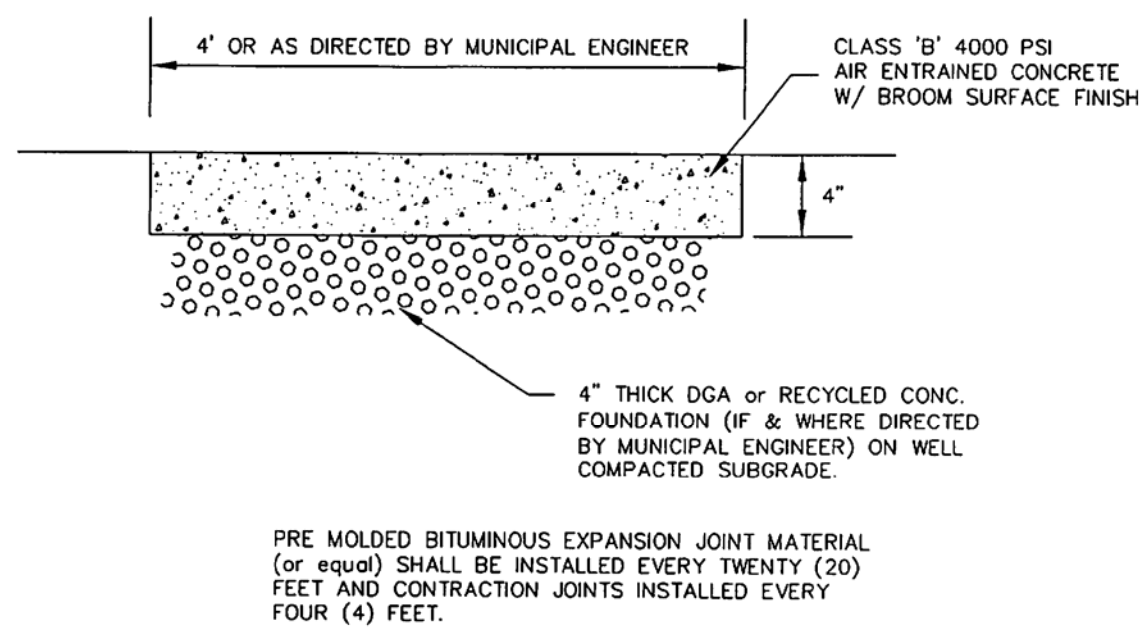
BICYCLE RACK

SCALE: NTS



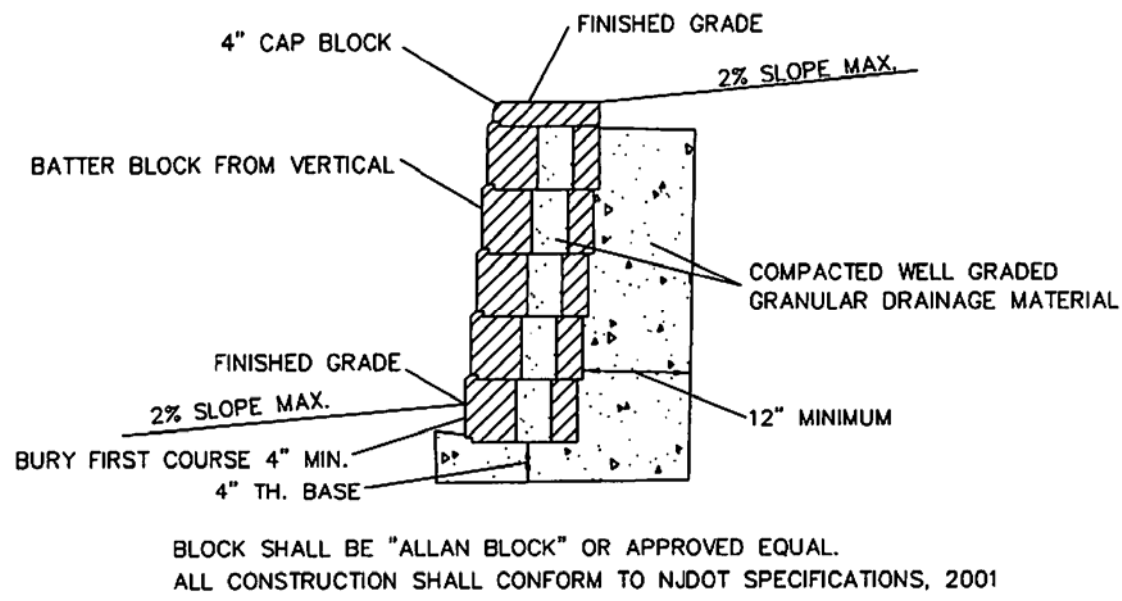
HANDICAP STALL MARKINGS (LAWRENCE STANDARD DETAIL R-16)

NOT TO SCALE



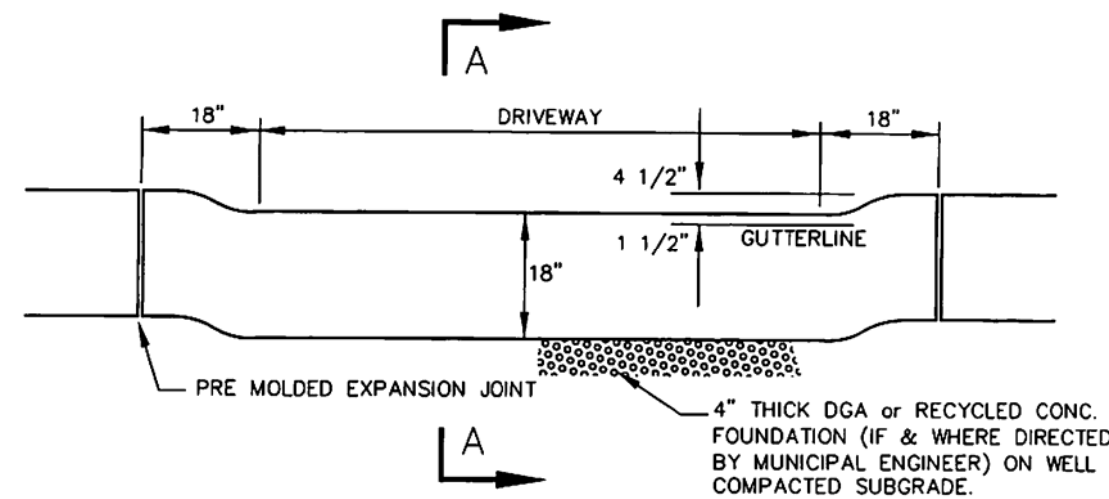
CONCRETE SIDEWALK (LAWRENCE STANDARD DETAIL R-10)

NOT TO SCALE



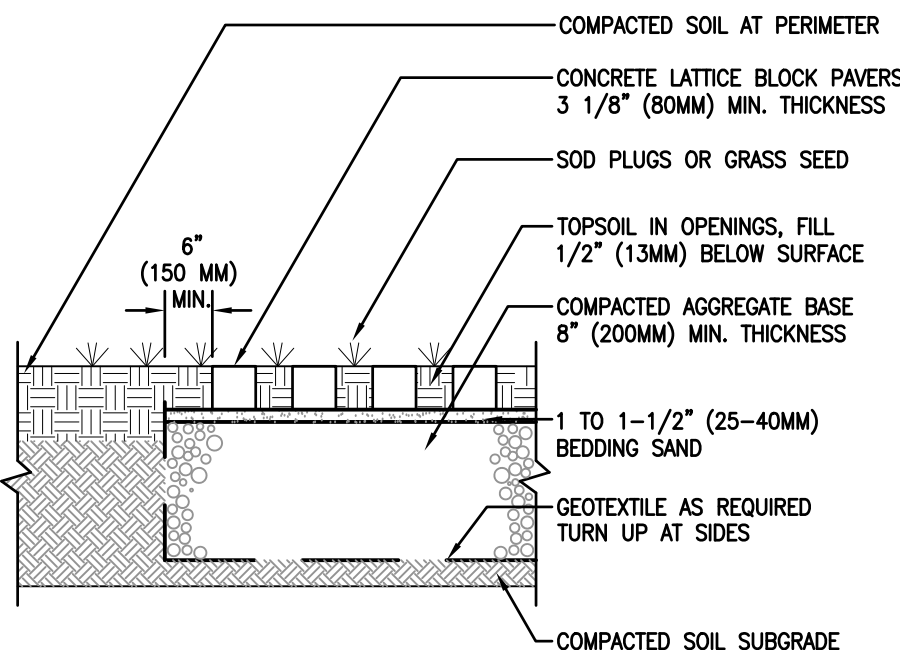
BLOCK RETAINING WALL (LAWRENCE STANDARD DETAIL M-7)

NOT TO SCALE



DEPRESSED CURB (LAWRENCE STANDARD DETAIL R-7)

NOT TO SCALE

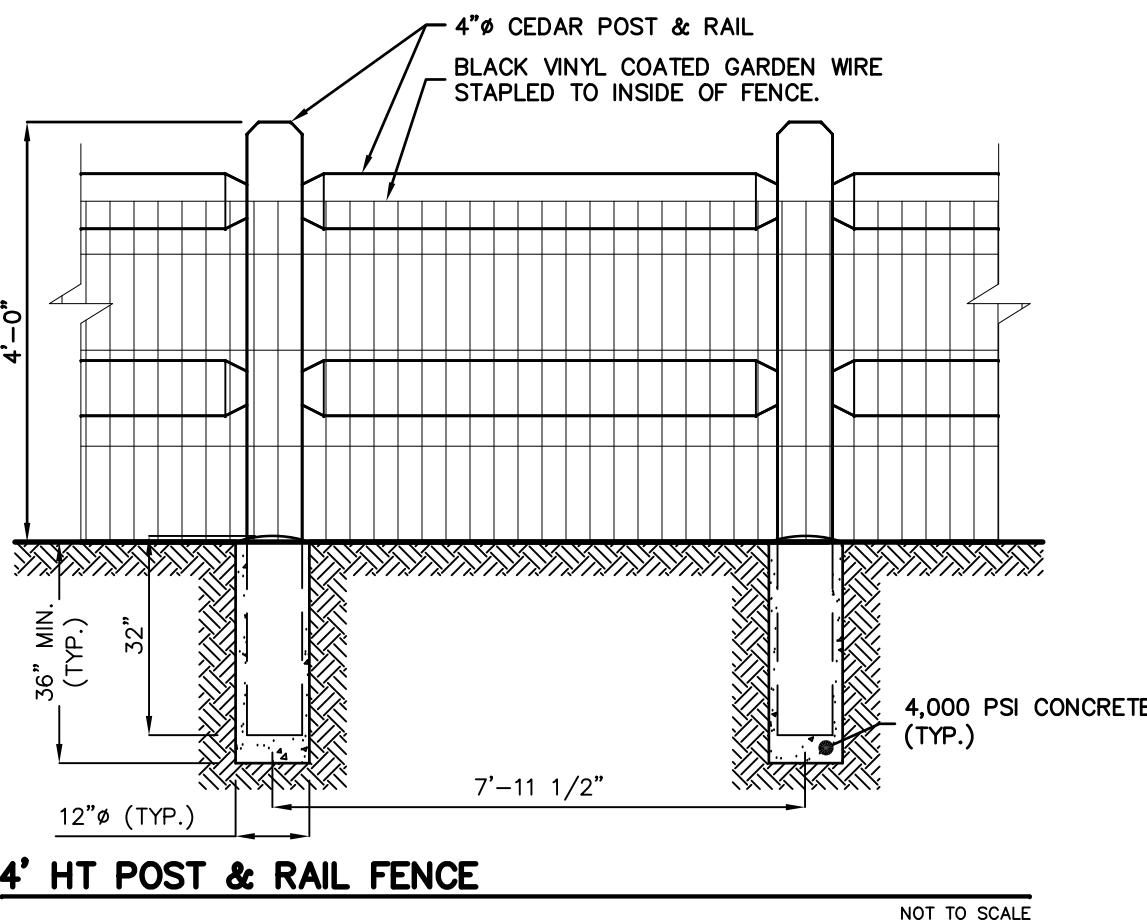


NOTES:

1. BASE THICKNESS VARIES WITH TRAFFIC, CLIMATE, AND SOIL SUBGRADE.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

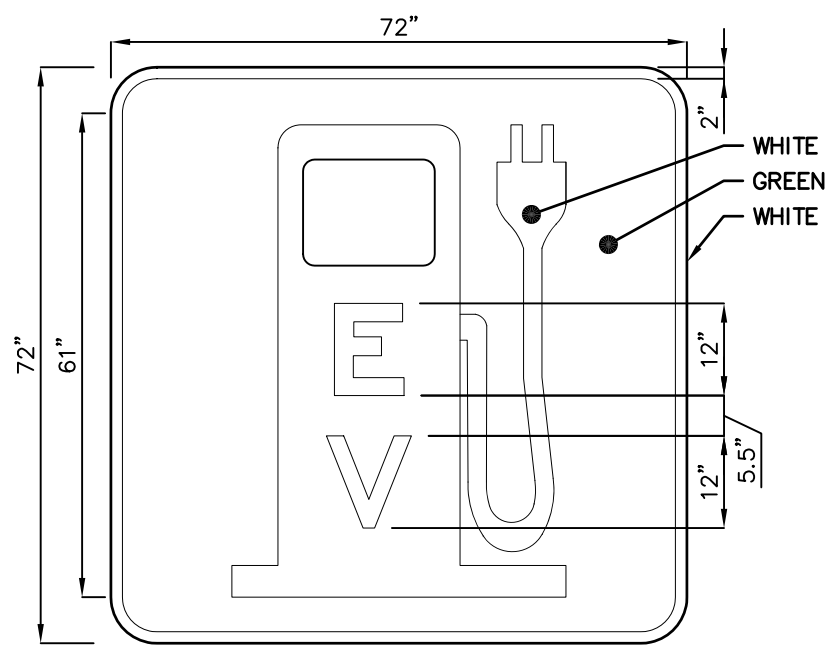
DRIVEAY PAVER DETAIL

NOT TO SCALE



4' HT POST & RAIL FENCE

NOT TO SCALE



ELECTRIC VEHICLE PARKING MARKER

NOT TO SCALE

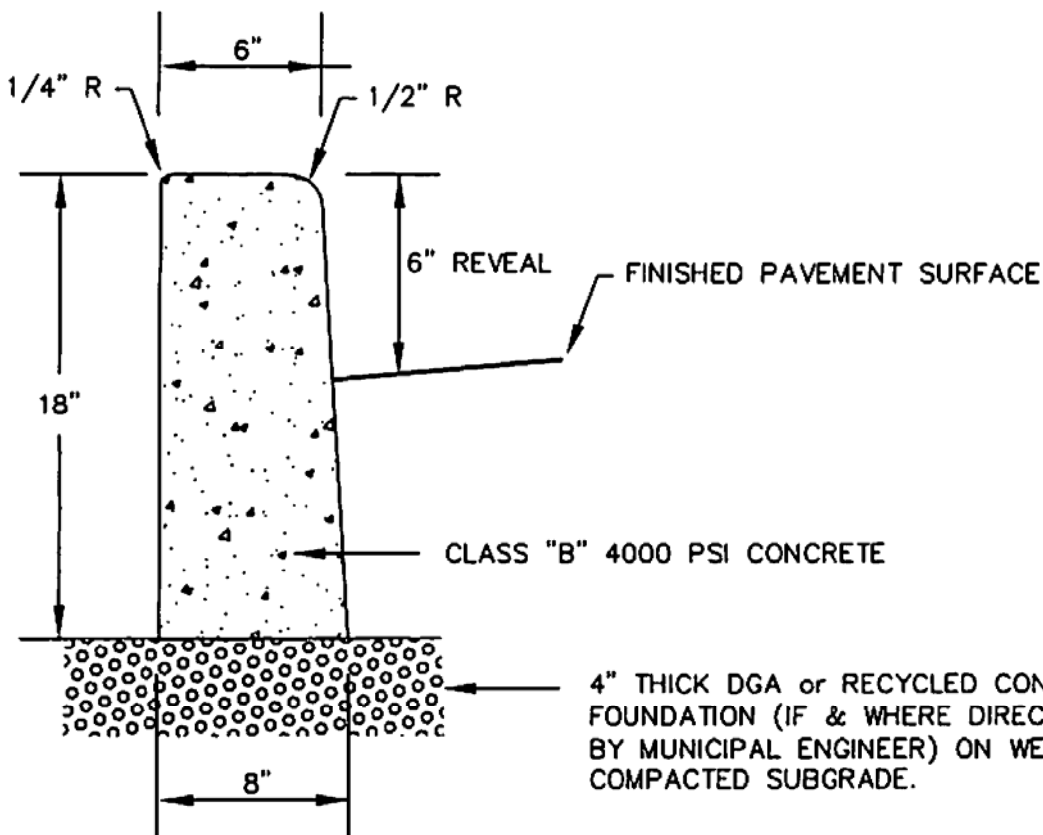


BOSCH EV800 SERIES
SKU: BOEL50650GNTDA
SIZE: 7 1/4" x 66" H

MANUFACTURER:
BOSCH AUTOMOTIVE EQUIPMENT
JOHN M. ELLSWORTH COMPANY INC.
8700 WEST BRADELEY ROAD
MILWAUKEE, WI 53224
(800) 333-3331
OR EQUAL

ELECTRIC VEHICLE BOLLARD
CHARGE STATION - DUAL

NOT TO SCALE



CONCRETE CURB (LAWRENCE STANDARD DETAIL R-5)

NOT TO SCALE

66 GLEN AVENUE
GLEN ROCK, NJ 07452
P 201.670.6888
F 201.670.9788
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MA LIC. NO. 40595 NY LIC. NO. 60022
NH LIC. NO. 9368 RI LIC. NO. 6694

ERIC M. HOUGH, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NO.	DATE	REVISION
1	11-17-25	UPDATE WITH TOWNSHIP DETAILS
2	11-17-25	ADDED DRIVEWAY PAVES DETAIL
3	11-17-25	ADDED RAIL FENCE DETAIL
4	11-17-25	ADDED ELECTRIC VEHICLE CHARGE STATION & ELECTRIC PARKING SPACE DETAIL

DRAWING TITLE

SITE DETAILS

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY	CHECKED BY
M.B.L.	C.J.B.

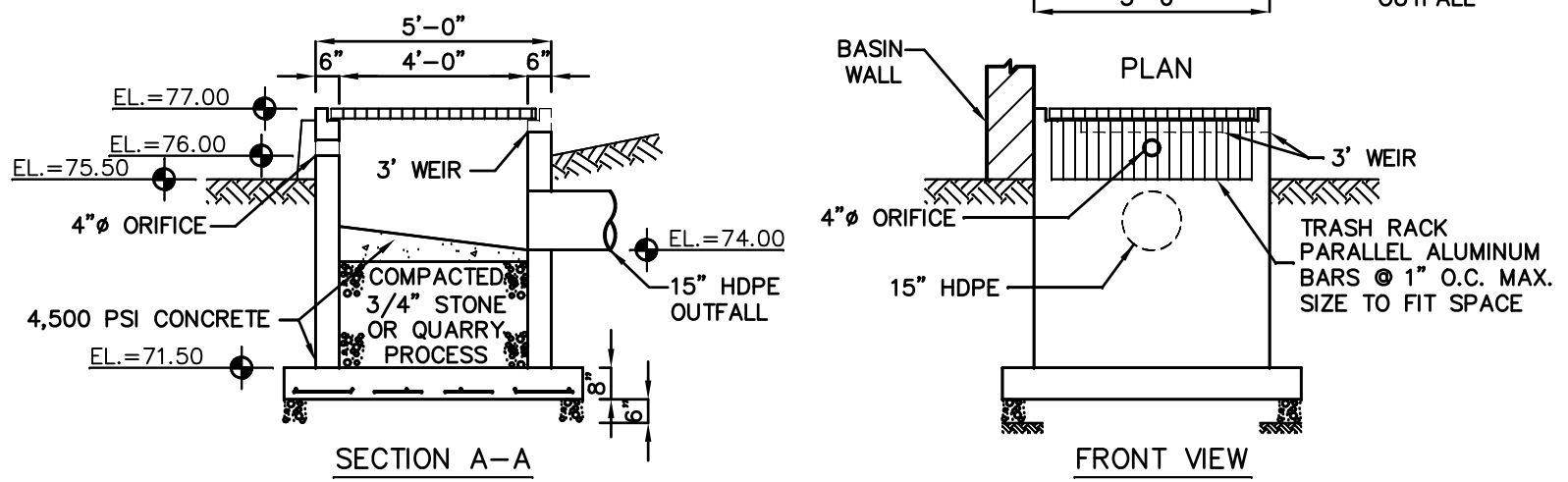
SCALE	PROJECT NO.
AS SHOWN	21-210

DATE	REVISION NO.
10-12-23	4

C3.1

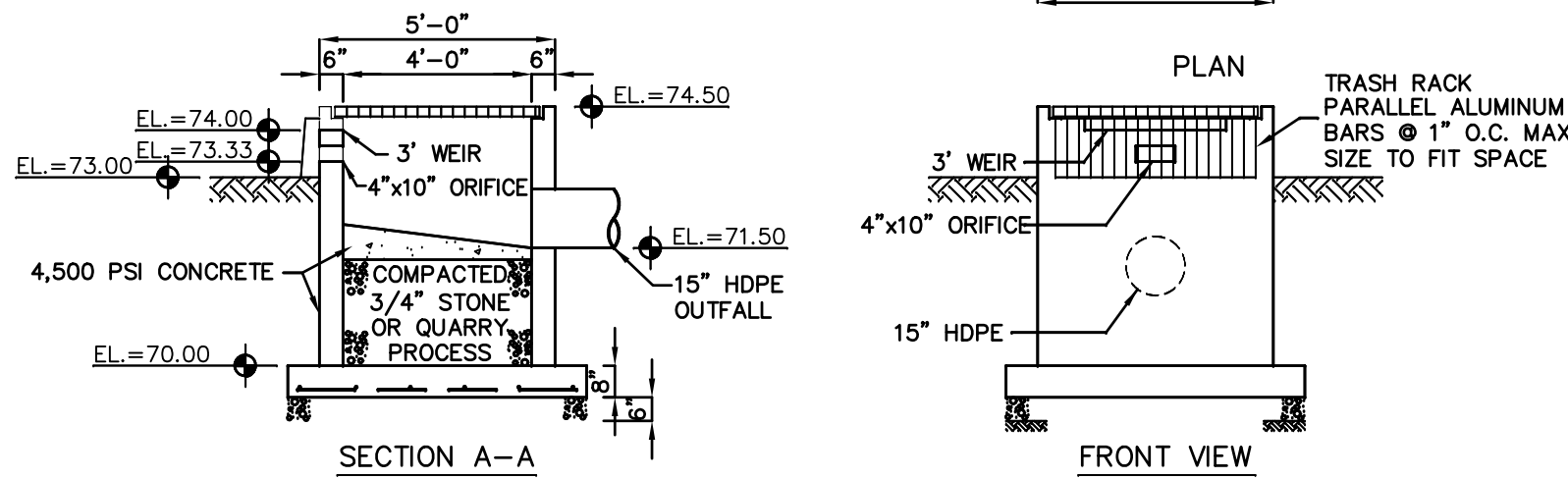
3033

- NOTES:
1. ALL CONCRETE SHALL BE 4,500 PSI.
 2. STRUCTURAL CALCULATIONS SHALL BE PROVIDED TO TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.



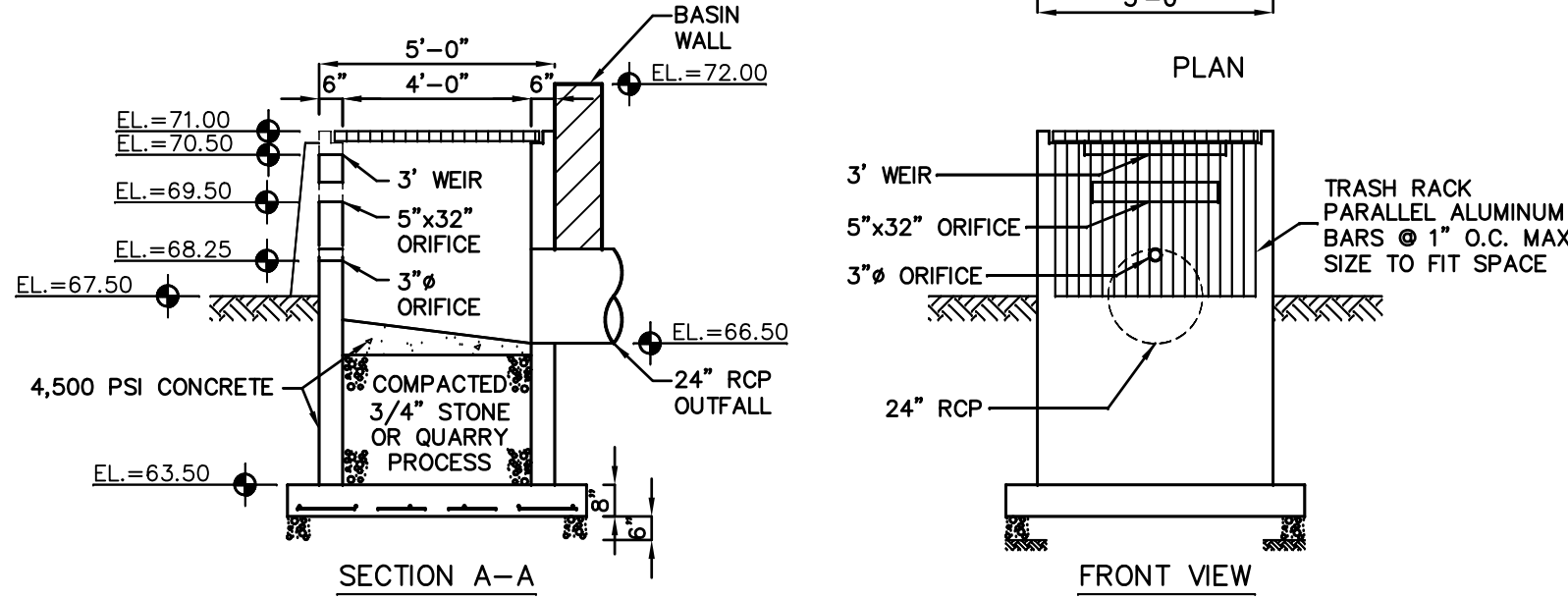
OUTLET CONTROL STRUCTURE #1

- NOTES:
1. ALL CONCRETE SHALL BE 4,500 PSI.
 2. STRUCTURAL CALCULATIONS SHALL BE PROVIDED TO TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.



OUTLET CONTROL STRUCTURE #2

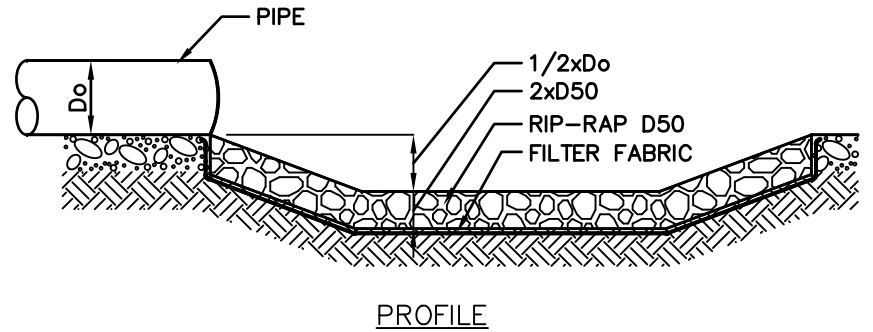
- NOTES:
1. ALL CONCRETE SHALL BE 4,500 PSI.
 2. STRUCTURAL CALCULATIONS SHALL BE PROVIDED TO TOWNSHIP ENGINEER PRIOR TO CONSTRUCTION.



OUTLET CONTROL STRUCTURE #3

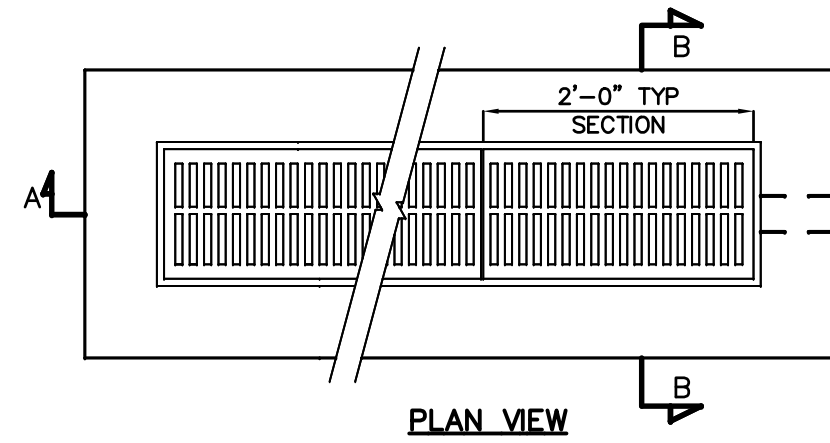
OUTLET SCHEDULE

OUTLET	D _o	W _o	L	W	LT	WT	D ₅₀
#1	15"	15"	3.75'	2.5'	7.5'	6.25'	6"
#2	10"	10"	2.5'	1.67'	5'	4.17'	4"
#3	10"	10"	2.5'	1.67'	5'	4.17'	4"
#4	24"	24"	6'	4'	12'	10'	9"
#5	15"	15"	3.75'	2.5'	7.5'	6.25'	4"
#6	10"	10"	2.5'	1.67'	5'	4.17'	4"

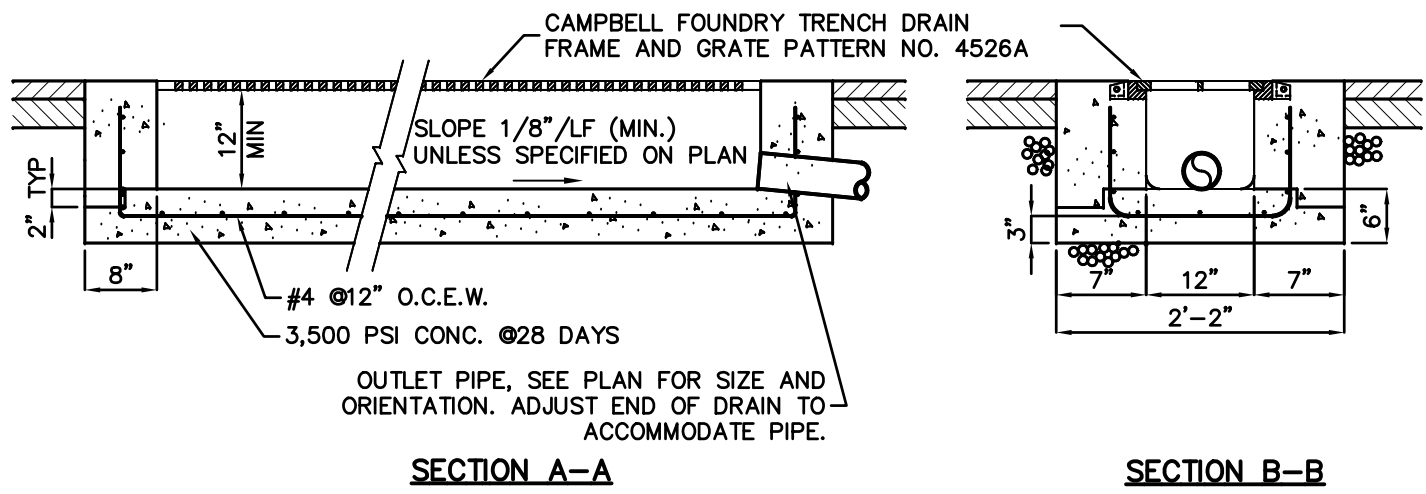


PROFILE

SAND FILTER PROFILE (SECTION C-C)

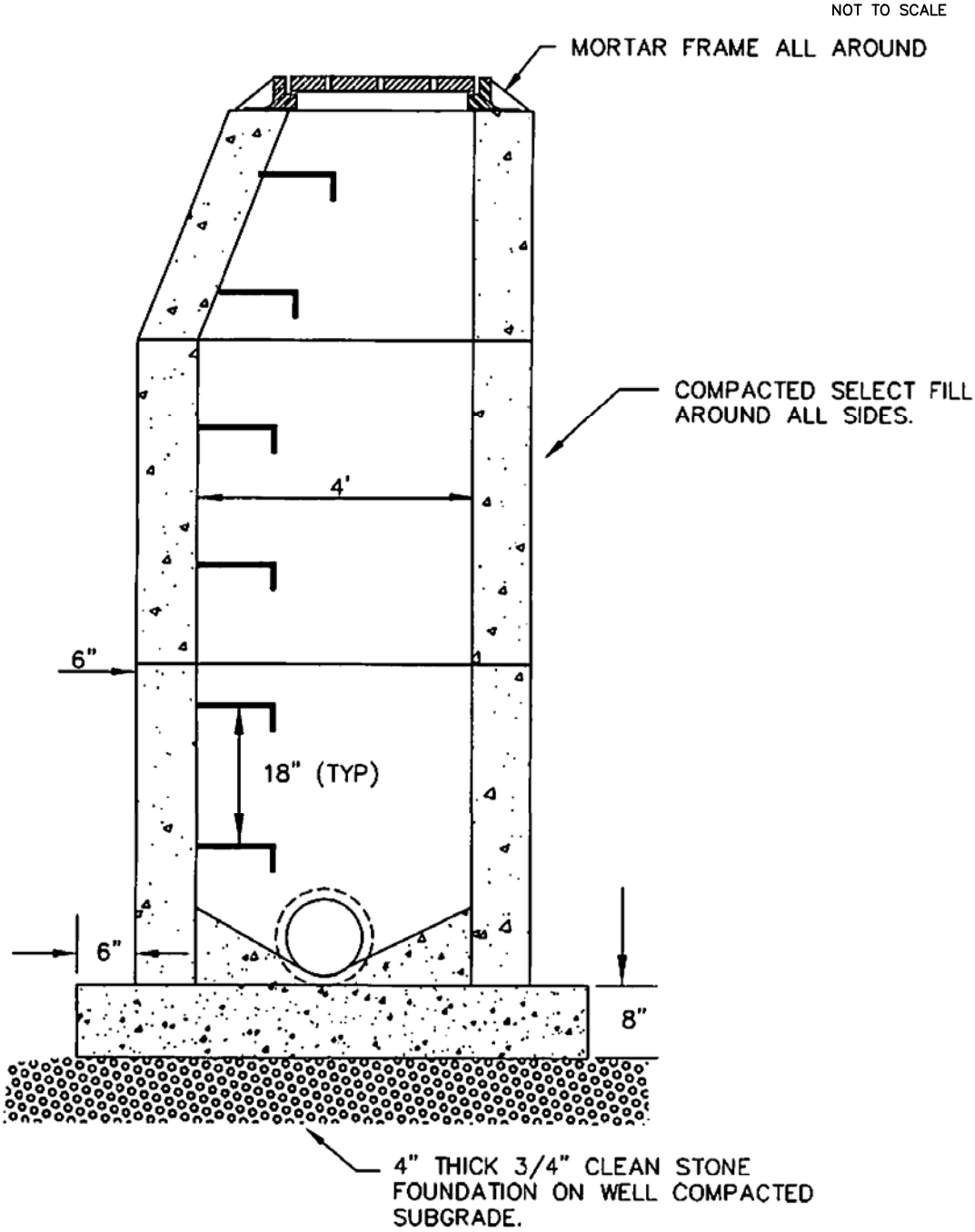


PLAN VIEW



TRENCH DRAIN DETAIL

PREFORMED SCOUR HOLE DETAIL



FOOTING AND INVERT TO BE NJDOT CLASS "C" CONCRETE.

IF MANHOLE IS NOT PRECAST, WALLS TO BE PLASTERED INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT MORTAR.

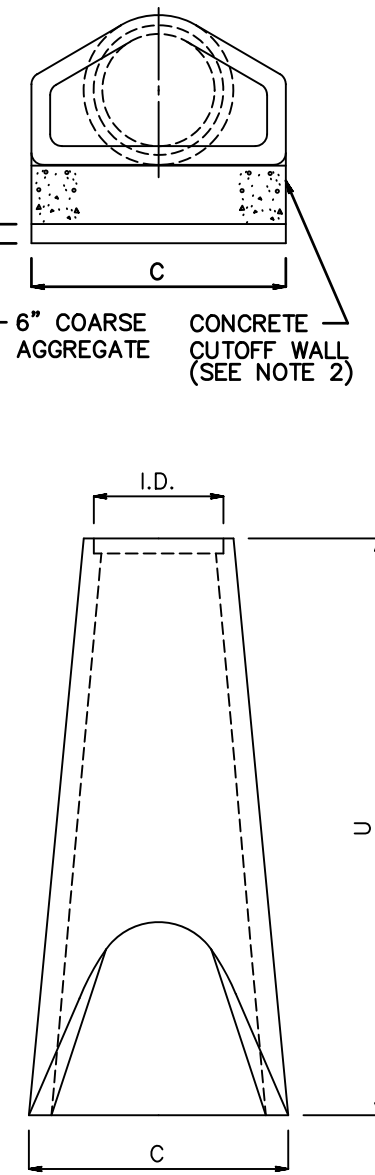
FRAME AND COVER TO BE CAMPBELL # 2204 OR EQUAL.

LADDER RUNGS SHALL BE 3/4" DIA. GALV. STEEL, OR APPROVED EQUAL, AT 18" O.C.

WHEN DEPTH OF MANHOLE EXCEEDS 8' FROM RIM TO INVERT, WALLS SHALL BE INCREASED TO 8" THICK, FOUNDATION INCREASED TO 12" THICK.

STORM SEWER MANHOLE (LAWRENCE STANDARD DETAIL SS-5)

FLARED END SECTION DETAIL



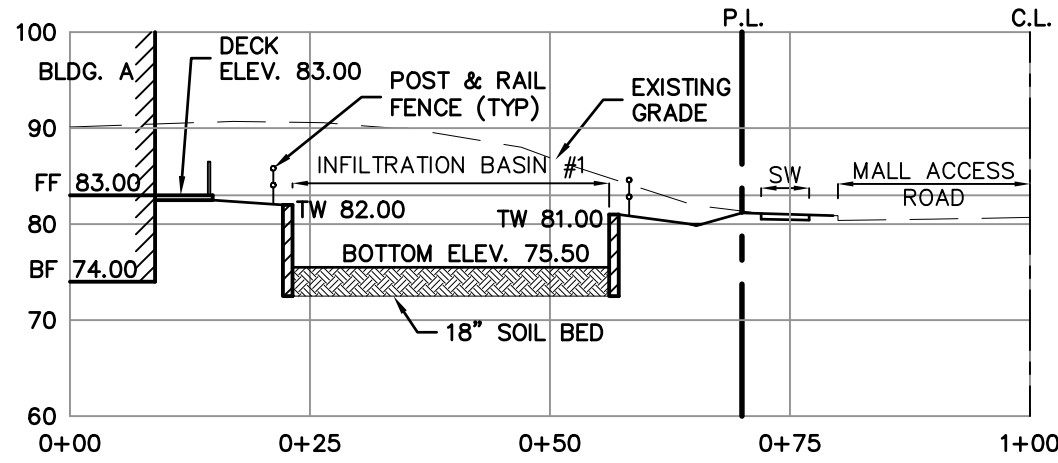
	I.D.	12	15	18	21	24	27	30	36	42	48	54	60
A	2	2.25	2.5	2.75	3	3.25	3.5	4	4.5	5	5.5	6	
U	72	72	72	72	72	72	72	72	96	96	96	96	96
C	28	34.5	41	47.5	54	60.5	67	80	87	94	101	108	

- NOTES:
1. MINOR VARIATIONS TO THE ABOVE DIMENSIONS ARE ACCEPTABLE WITH THE EXCEPTION OF THE INSIDE DIAMETER DIMENSION.
 2. A 1 INCH THICK MORTAR BED AND A 6 INCH DEEP LAYER OF COARSE AGGREGATE ARE REQUIRED WHEN A PRECAST CONCRETE CUTOFF WALL IS USED.
 3. NO SEPARATE PAYMENT WILL BE MADE FOR THE CONCRETE CUTOFF WALL. THE COST OF THE CONCRETE CUTOFF WALL SHALL BE INCLUDED IN THE COST OF THE END SECTION.
 4. THE WIDTH OF THE CONCRETE CUTOFF WALL SHALL BE EQUAL TO THE MAXIMUM WIDTH OF THE END SECTION AS INDICATED ON THE DETAIL BY DIMENSION "C". HOWEVER, IF THE ACTUAL MAXIMUM WIDTH EXCEEDS THE CHART VALUE OF "C", THE WIDTH OF THE CONCRETE CUTOFF WALL SHALL EQUAL THE ACTUAL MAXIMUM WIDTH OF THE END SECTION.

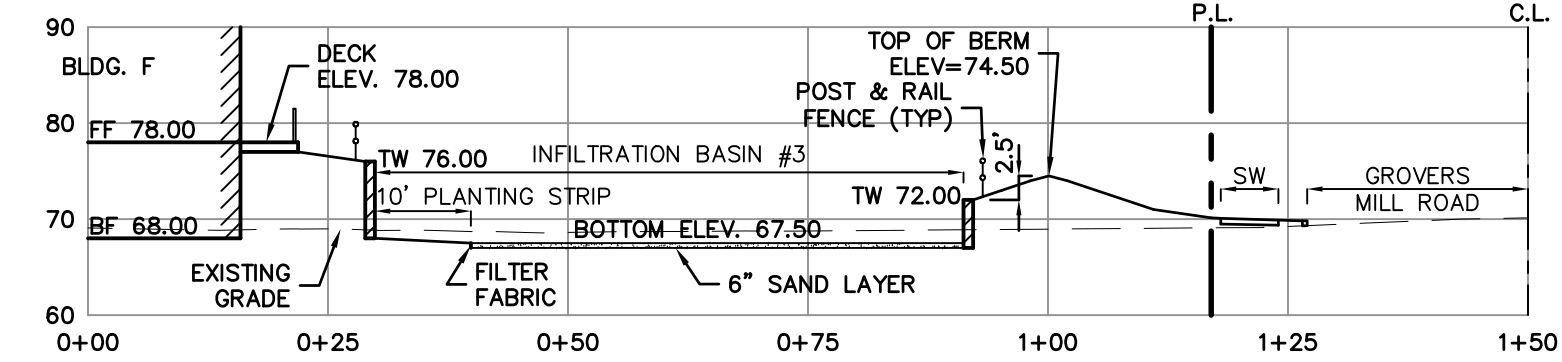
BIORETENTION PROFILE (SECTION A-A)

SOIL BED NOTES:

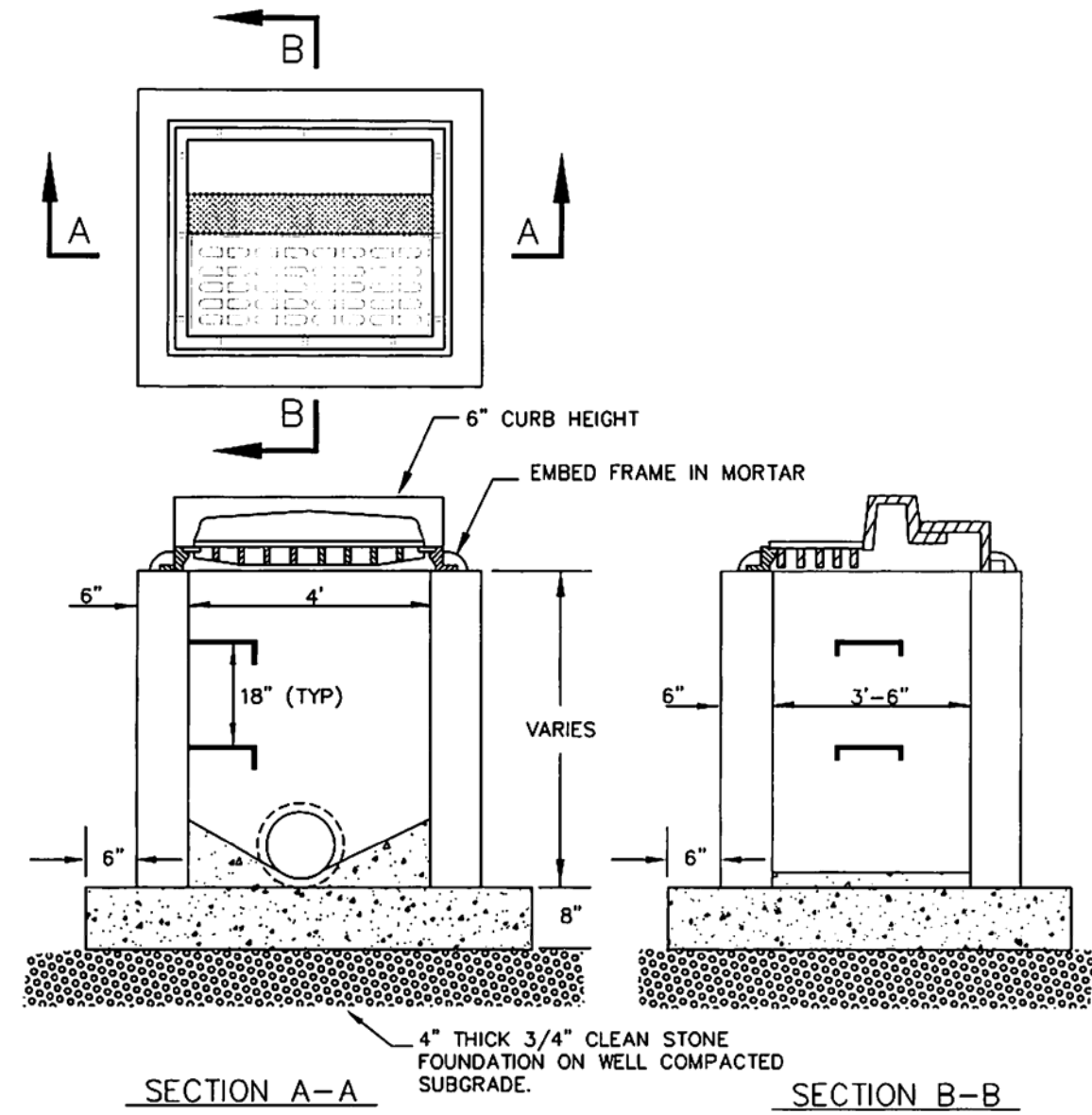
1. THE SOIL BED MATERIAL MUST CONSIST OF THE FOLLOWING MIX, BY WEIGHT: 85 TO 95% SAND, WITH NO MORE THAN 25% OF THE SAND AS FINE OR VERY FINE SANDS; NO MORE THAN 15% SILT AND CLAY WITH 2% TO 5% CLAY CONTENT. THE ENTIRE MIX MUST THEN BE AMENDED WITH 3 TO 7% ORGANICS, BY WEIGHT.
2. PRE-MIXED SOIL MUST BE CERTIFIED TO BE CONSISTENT WITH THE REQUIREMENT ABOVEBY EITHER THE VENDOR OR BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW JERSEY. THE CONTENT OF ANY SOIL MIXED ON-SITE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW JERSEY. IN ADDITION, THE ENGINEER MUST BE PRESENT WHILE THE SOIL IS MIXED.
3. THE PH OF THE SOIL BED MATERIAL MUST RANGE FROM 5.5 TO 6.5.
4. THE SOIL BED MATERIAL MUST BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES.
5. FILTER FABRIC TO PLACED ALONG VERTICAL EDGE OF SOIL BED WHERE BED ABUTS SURROUNDING SOIL. FILTER FABRIC NOT REQUIRED WHERE BED ABUTS RETAINING WALL.



BUILDING A INFILTRATION BASIN #1 SECTION



BUILDING F INFILTRATION BASIN #3 SECTION



FOOTING AND INVERT TO BE NJDOT CLASS "C" CONCRETE.

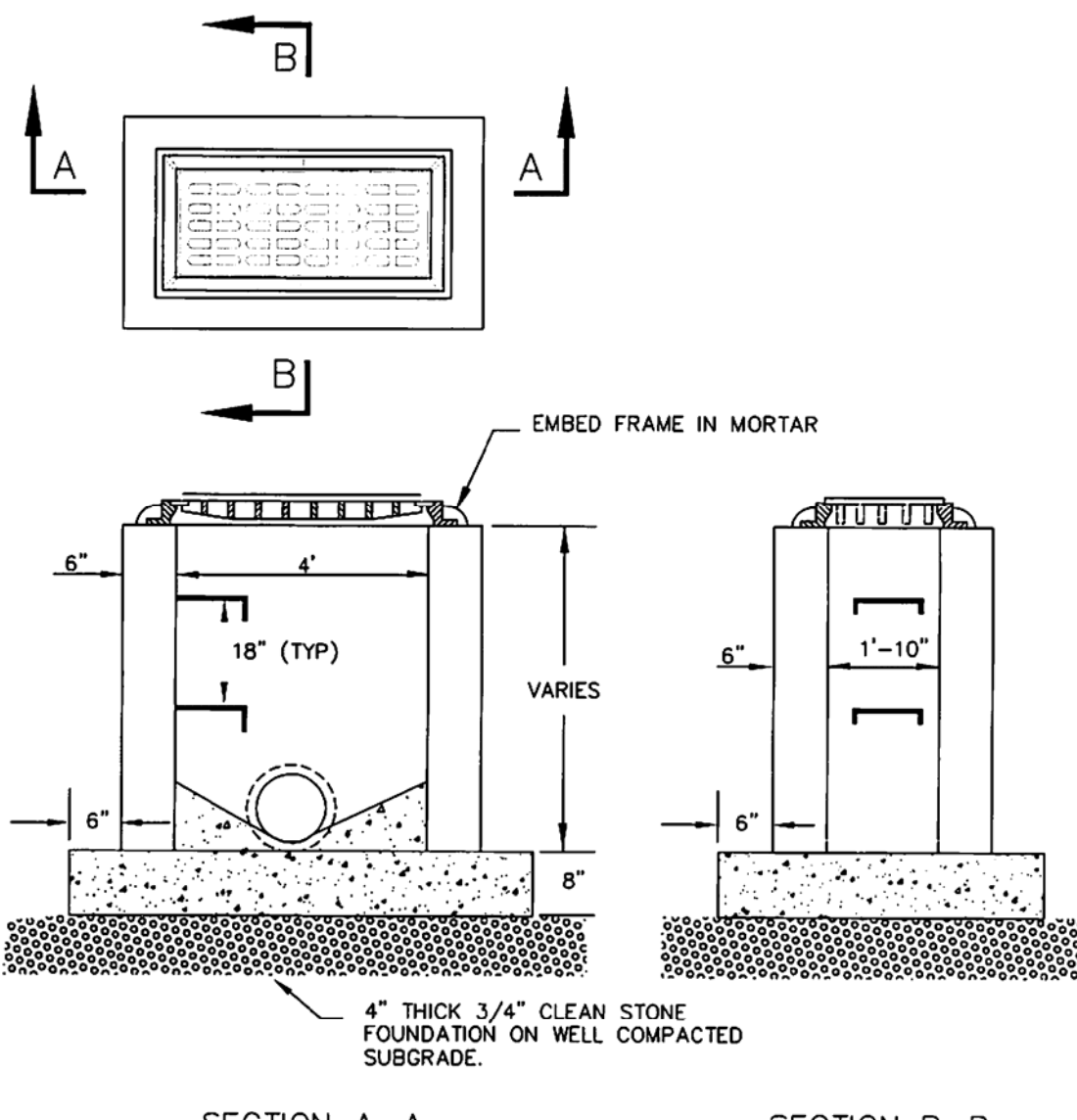
IF INLET IS NOT PRECAST, WALLS TO BE PLASTERED INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT MORTAR.

CASTING TO INCLUDE BICYCLE SAFE GRATE, BRIDGESTATE FOUNDRY #2618, OR APPROVED EQUAL.

LADDER RUNGS SHALL BE 3/4" DIA. GALV. STEEL, OR APPROVED EQUAL, AT 18" O.C.

WHEN DEPTH OF INLET EXCEEDS 8' FROM GUTTER TO INVERT, WALLS SHALL BE INCREASED TO 8" THICK, FOUNDATION INCREASED TO 12" THICK.

TYPE "B" INLET (LAWRENCE STANDARD DETAIL SS-2)



FOOTING AND INVERT TO BE NJDOT CLASS "C" CONCRETE.

IF INLET IS NOT PRECAST, WALLS TO BE PLASTERED INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT MORTAR.

CASTING TO INCLUDE BICYCLE SAFE GRATE, BRIDGESTATE FOUNDRY #3405, OR APPROVED EQUAL.

LADDER RUNGS SHALL BE 3/4" DIA. GALV. STEEL, OR APPROVED EQUAL, AT 18" O.C.

WHEN DEPTH OF INLET EXCEEDS 8' FROM GUTTER TO INVERT, WALLS SHALL BE INCREASED TO 8" THICK, FOUNDATION INCREASED TO 12" THICK.

TYPE "A" INLET (LAWRENCE STANDARD DETAIL SS-1)

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NH LIC. NO. 9368 RI LIC. NO. 6694

ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER

NJ LIC. NO. 51893

NOT FOR CONSTRUCTION

NO. DATE

NO. DATE

NO. DATE

NO. DATE

NO. DATE

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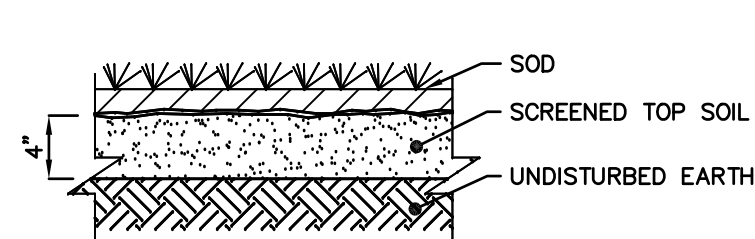
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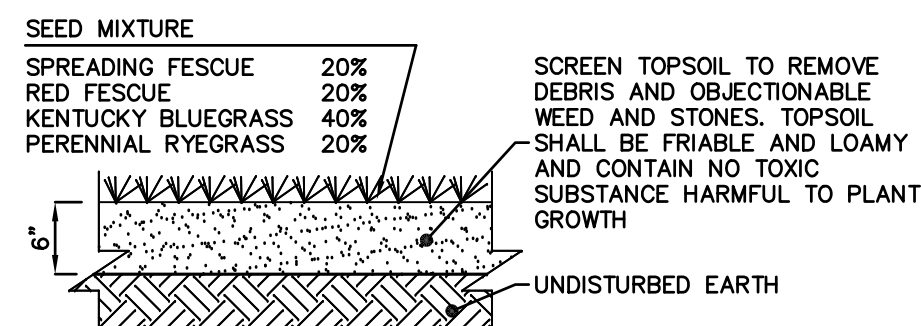
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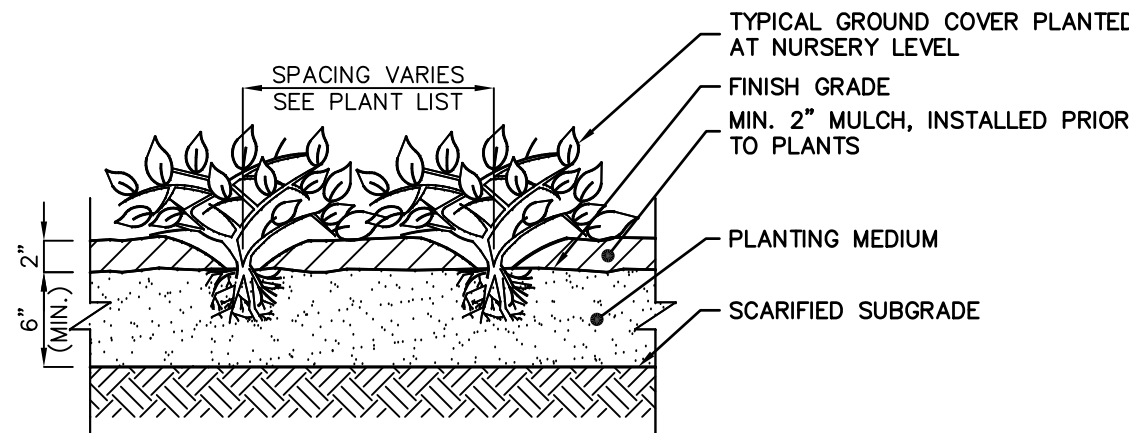
SOD DETAIL

NOT TO SCALE



TOP SOIL & GRASS DETAIL

NOT TO SCALE

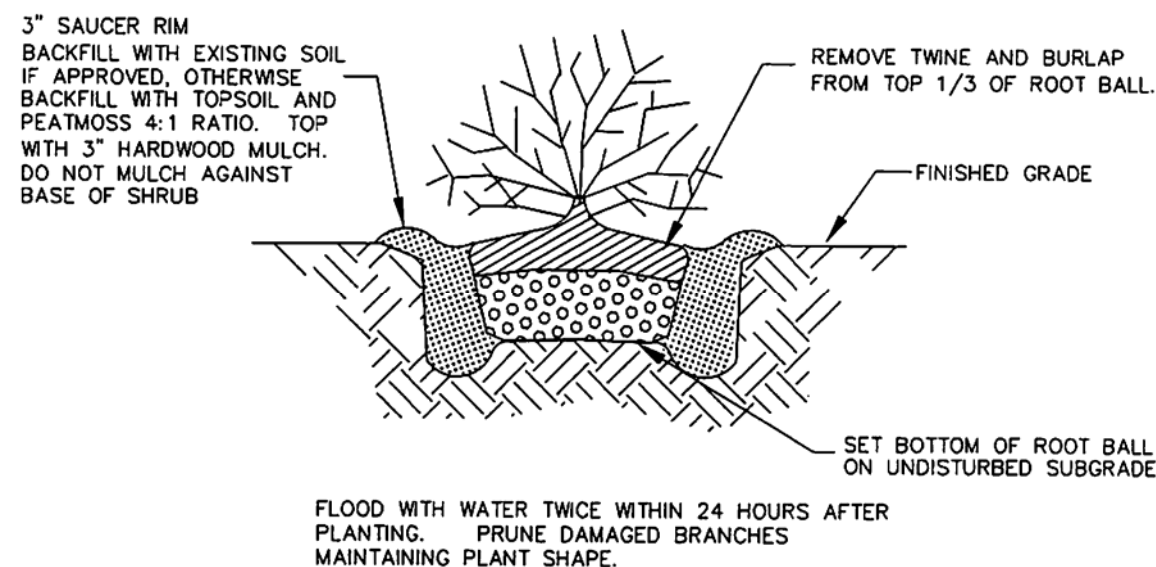


NOTES:

1. PLANTING MEDIUM SHALL BE PLANTING SOIL MIXED 50/50 WITH NATIVE SOIL OR NATIVE SOIL AMENDED WITH 25% MIN. DECOMPOSED ORGANIC MULCH AMENDMENT.
2. ALL GROUNDCOVER SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING OR ON CENTER SPACING AS SPECIFIED ON LANDSCAPING PLAN.
3. LOCATE GROUNDCOVER ONE-HALF OF SPECIFIED SPACING DISTANCE FROM ANY CURB, SIDEWALK OR OTHER HARD SURFACE, UNLESS OTHERWISE SPECIFIED.

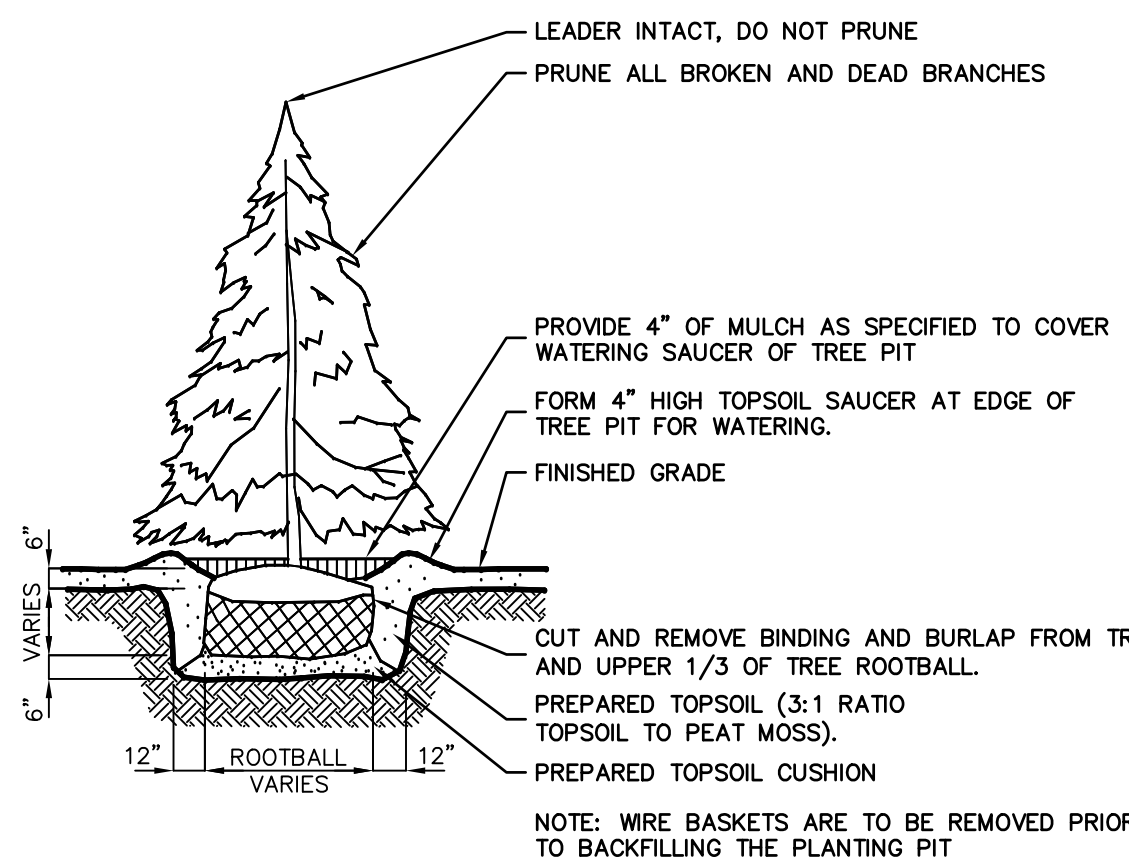
GROUNDCOVER PLANTING

NOT TO SCALE



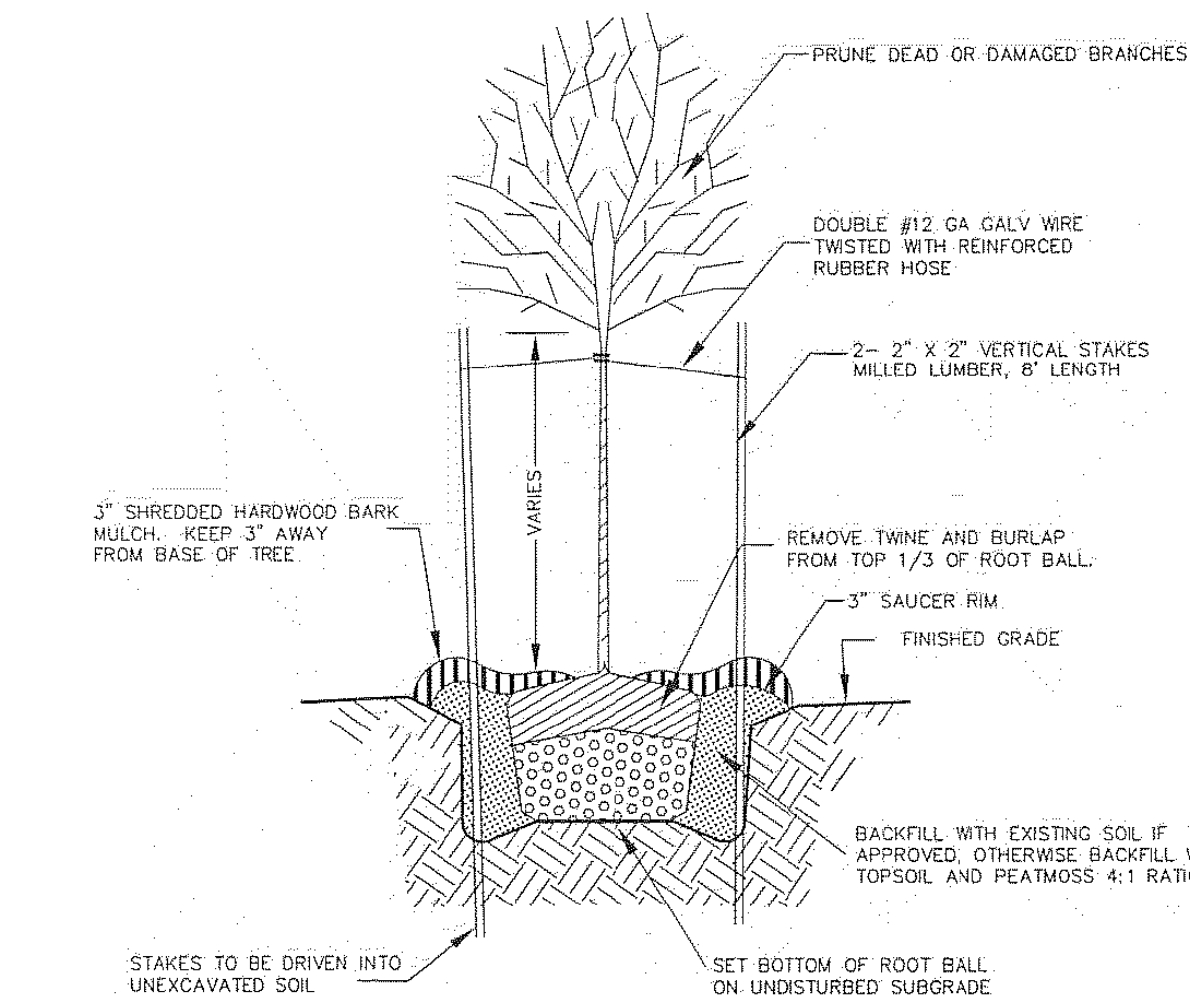
SHRUB PLANTING (LAWRENCE STANDARD DETAIL L-2)

NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL

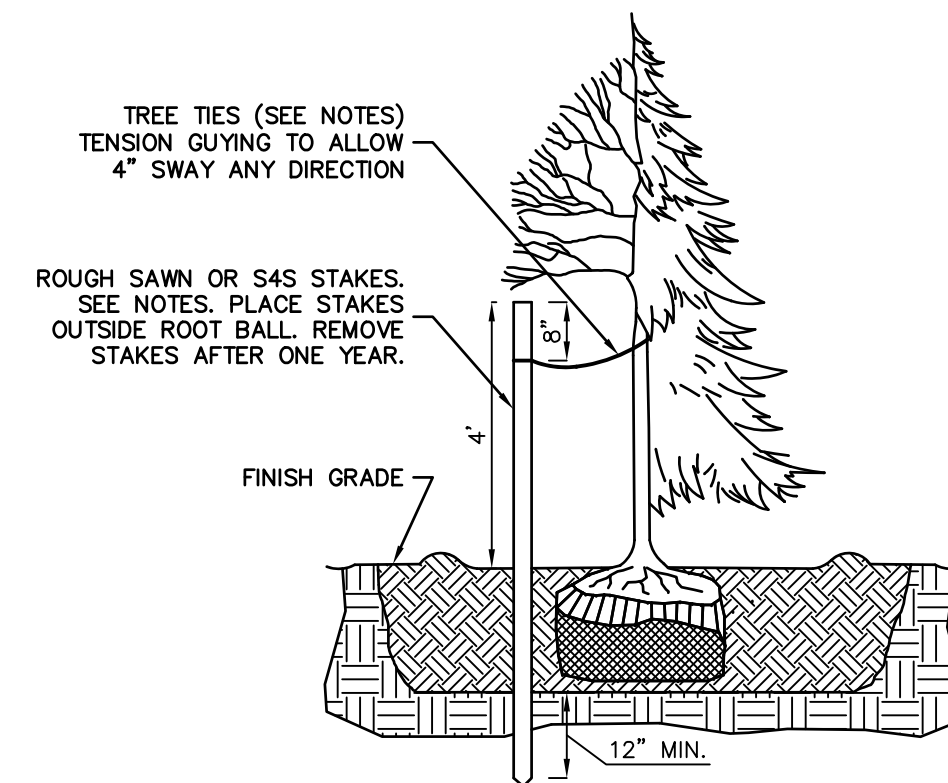
NOT TO SCALE



- NOTES:
- 1) CUT TWINE AWAY FROM TRUNK OF TREE. FOLD DOWN OR REMOVE TOP THIRD OF BURLAP. IF TREATED BURLAP, THEN REMOVE TOP THIRD. IF WIRE BASKET IS PRESENT, REMOVE TOP TWO RINGS OF BASKET (MINIMUM).
 - 2) TREES SHALL BE POSITIONED 1" ABOVE THE GRADE AT WHICH THEY GREW IN THE NURSERY. NO SOIL SHALL BE PLACED AGAINST THE TRUNK FLARE.
 - 3) STAKING & GUYING REQUIRED AT THE DISCRETION OF THE OWNER.

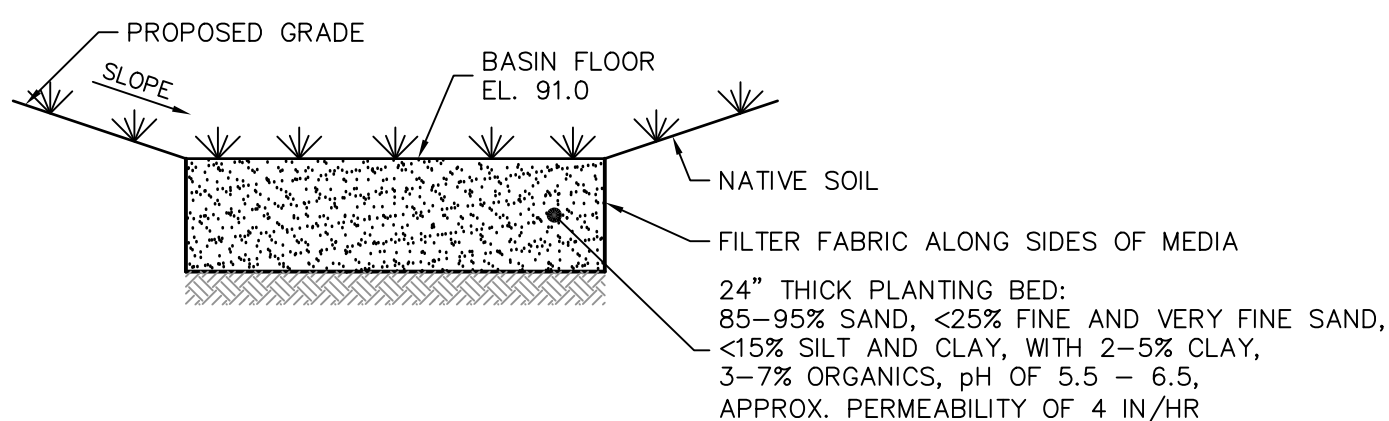
TREE PLANTING (LAWRENCE STANDARD DETAIL L-1)

NOT TO SCALE



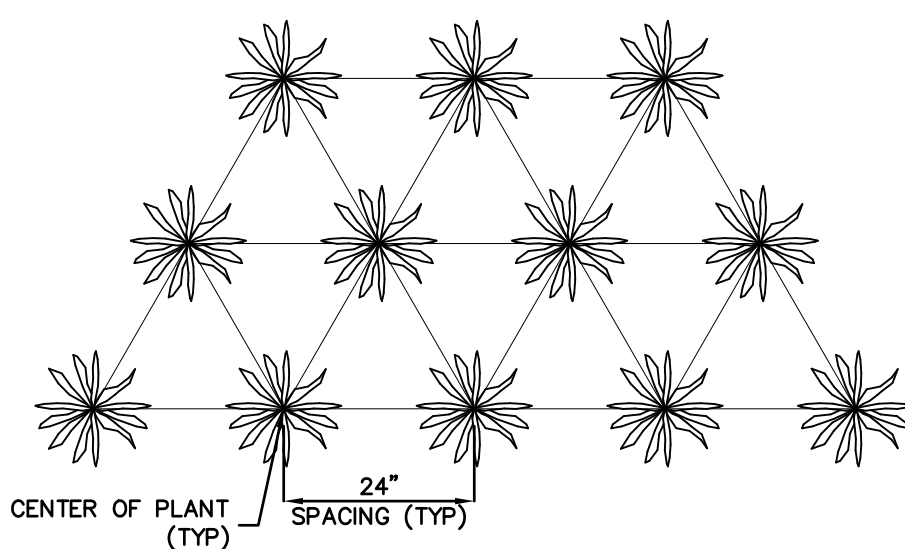
TREE STAKING DETAIL

NOT TO SCALE



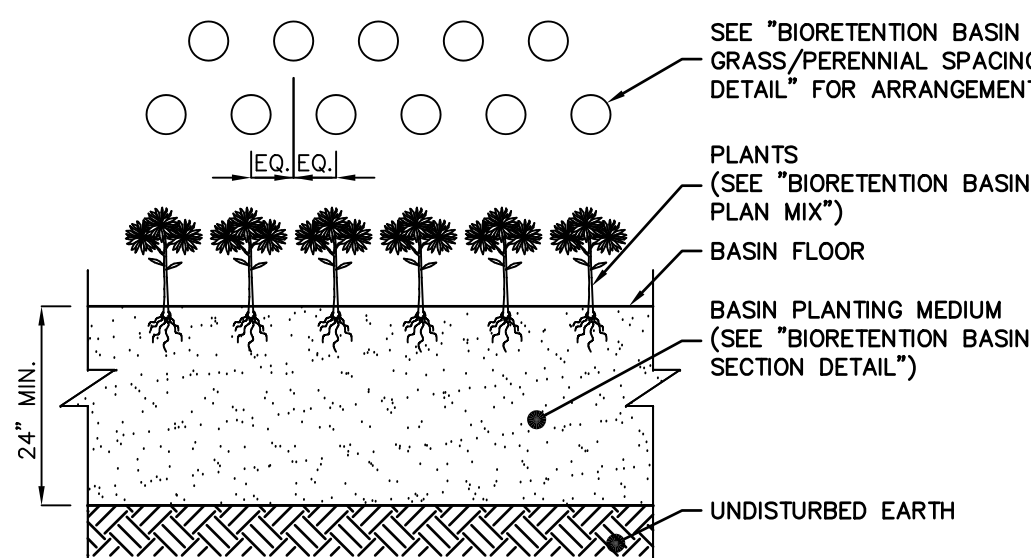
BIORETENTION BASIN SECTION DETAIL

NOT TO SCALE



BIORETENTION BASIN HERBACEOUS VEGETATION SPACING DETAIL

NOT TO SCALE



BIORETENTION BASIN HERBACEOUS VEGETATION PLANTING DETAIL

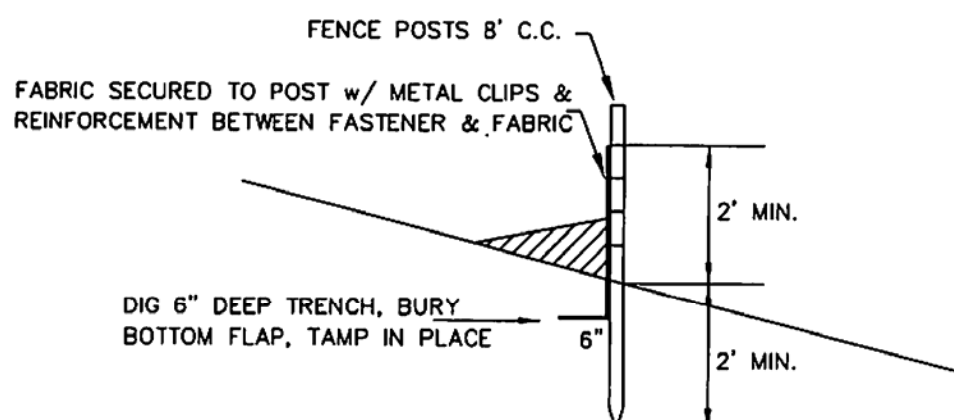
NOT TO SCALE

LANDSCAPE MAINTENANCE NOTES

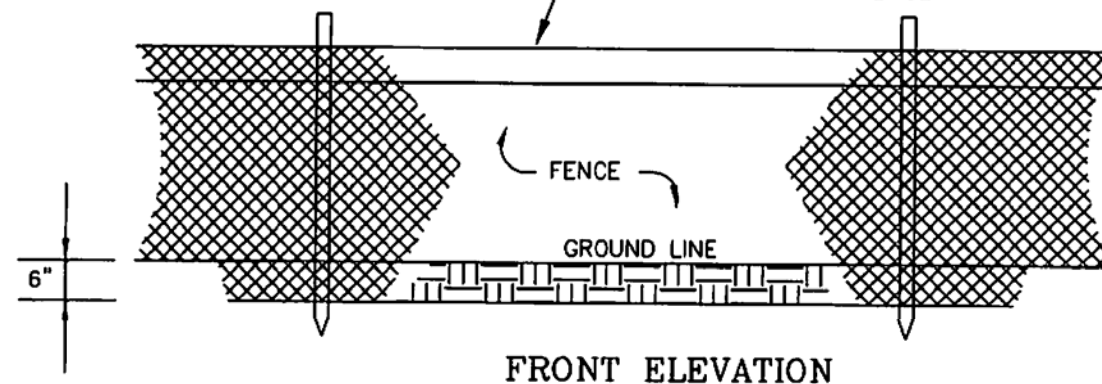
1. PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.
2. TREES AND SHRUBS: MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTLE TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS.
- GROUND COVER AND PLANTS: MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY WATERING, WEEDING, FERTILIZING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- THOSE PERFORMING SUCH WORK BE PROFESSIONALS CERTIFIED IN SUCH WORK. (ISA CERTIFIED, CERTIFIED TREE EXPERT CERTIFICATION AND/OR SHOW PROOF OF NOT LESS THAN 5 YEARS EXPERIENCE IN SUCH HORTICULTURAL WORK HAS BEEN OBTAINED).
3. MAINTENANCE PERIOD: 24 MONTHS FROM DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE BOROUGH'S LANDSCAPE ARCHITECTAND/OR BOROUGH OFFICIAL HAVING JURISDICTION.
4. NORMAL MAINTENANCE AND CARE OF ALL PLANT MATERIAL, (WATERING, ETC.) SHALL TAKE PLACE PRIOR TO THE DETERMINATION OF SUBSTANTIAL COMPLETION AS WELL IN ORDER TO PLANTED MATERIAL HEALTHY.

LANDSCAPE NOTES

1. ALL LANDSCAPED AREAS TO RECEIVE A TWELVE INCH (12") LAYER OF COMPACTED TOPSOIL.
2. ALL PLANT MATERIAL TO BE BALLED & BURLAPPED AND CONFORM TO U.S.A. STANDARD FOR NURSERY STOCK U.S.A. Z 601-1969.
3. SHRUBS SHALL BE PLANTED IN PITS WITHIN THE BED ONE FOOT GREATER THAN THE SPREAD OF THE ROOTS AND 18" DEEP BELOW FINISH GRADE OR AS DEEP AS IS NECESSARY TO PROPERLY SET THE PLAN AT FINISH GRADE. THE DEPTH OF THE PLANTING PIT SHALL BE ADJUSTED AS NECESSARY TO PERMIT A MINIMUM OF (3") THREE INCHES OF TOPSOIL UNDER BALL OF ALL PLANTS.
4. TOP SOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TOP SOIL TO ONE PART PEAT.
5. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE & SHRUB PITS SHALL BE MULCHED WITH A (4") FOUR INCH LAYER OF ROOT MULCH. THE LIMIT OF THIS MULCH FOR TREES SHALL BE AREA OF THE PIT & FOR SHRUBS IN BEDS, THE ENTIRE AREA OF SHRUB BED.
6. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL. NYLON ROPE AND OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
7. IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
8. IF THE CONTRACTOR FINDS QUESTIONABLE SUBGRADE MATERIAL/SOIL CONDITIONS THAT ARE DELETERIOUS TO PLANT SURVIVAL AND GROWTH OR INHIBIT DRAINAGE HE SHALL NOTIFY THE BOROUGH LANDSCAPE ARCHITECT AND OWNER'S LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIALS UPON FINDINGS OF SUCH QUESTIONABLE MATERIAL.
9. PLANT GROUNDCOVERS IN 8" DEEP TOPSOIL BED CONSISTING OF 3 PARTS TOPSOIL AND 1 PART HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
10. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES, OR STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND OF SOD PRIOR TO SUBMITTING BID.
11. CONTRACTOR SHALL REVIEW THE "PROTECTION AGAINST AND REMEDIATION OF EXCESS SOIL COMPACTION".
12. CONTRACTOR SHALL REVIEW AND COORDINATE HIS WORK WITH THAT OF THE WORK SHOWN ON THE LANDSCAPING PLAN DEVELOPED BY THE APPLICANT'S LANDSCAPE ARCHITECT.
13. UTILITIES/STRUCTURES, CONDUITS ARE TO BE PLACED ALONG THE INSIDE OF CURBING, BOTH EXISTINGAND PROPOSED TO ENSURE THAT THEY DO NOT INTERFERE WITH THE INSTALLATION/PLANTING OF PROPOSED CANOPY TREES, EVERGREEN TREES, SHRUBS AND GROUND COVER. ANY CONDUITS, LINES, STRUCTURES FOUND TO BE IN INTERFERENCE OF PROPOSED PLANTINGS SHALL BE REARRANGED, REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
14. AT ALL AREAS PROPOSED FOR PLANTINGS AND LANDSCAPING THE CONTRACTOR SHALL REMOVE ALL EXISTING DRIVEWAY/ASPHALT PAVEMENT AND STRUCTURAL MATERIALS TO FULL DEPTH INCLUDING ALL SUBBASE MATERIAL. SUBGRADE SHALL BE TILED/RIPPED TO SOFTEN SUBGRADE. ENTIRE AREA SHALL BE BACK FILLED WITH UP TO NOT LESS THAN 12" OF TOPSOIL.
15. FURNISH AN IRRIGATION SYSTEM AT ALL LANDSCAPED AREAS. IRRIGATION SYSTEM TO BE DESIGNED BY A PERSON LICENSED IN THE STATE OF NEW JERSEY.



SIDE ELEVATION



FRONT ELEVATION

NOTES:

1. PLACE SILT FENCE AT LOCATIONS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS AROUND FENCE.
3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS CONDITIONS WARRANT.
4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED.

SILT FENCE (LAWRENCE STANDARD DETAIL SE-2)

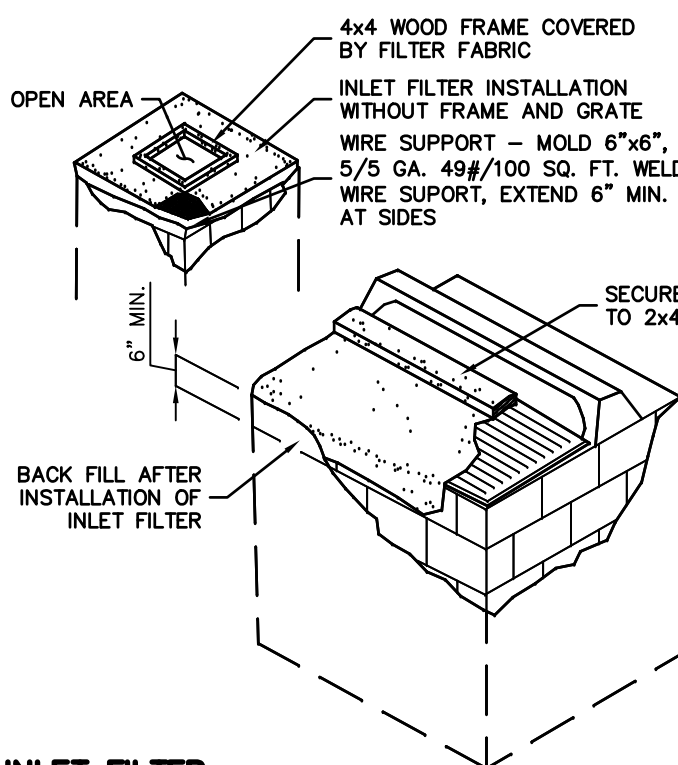
NOT TO SCALE

LAWNS: SODDING AND SOIL PREPARATION NOTES

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SOD. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SODDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL. SCARIFY SOIL TO DEPTH OF 3/4 INCHES PRIOR TO APPLICATION.
3. LAWNS SHALL BE SODDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF.
4. WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
5. FOLLOWING SODDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS. ALL LAWNS SHALL BE GUARANTEED TO HAVE A UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRIZING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
6. ALL DISTURBED LAWN AREAS SHALL BE SODDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

LAWNS: SEEDING AND SOIL PREPARATION NOTES

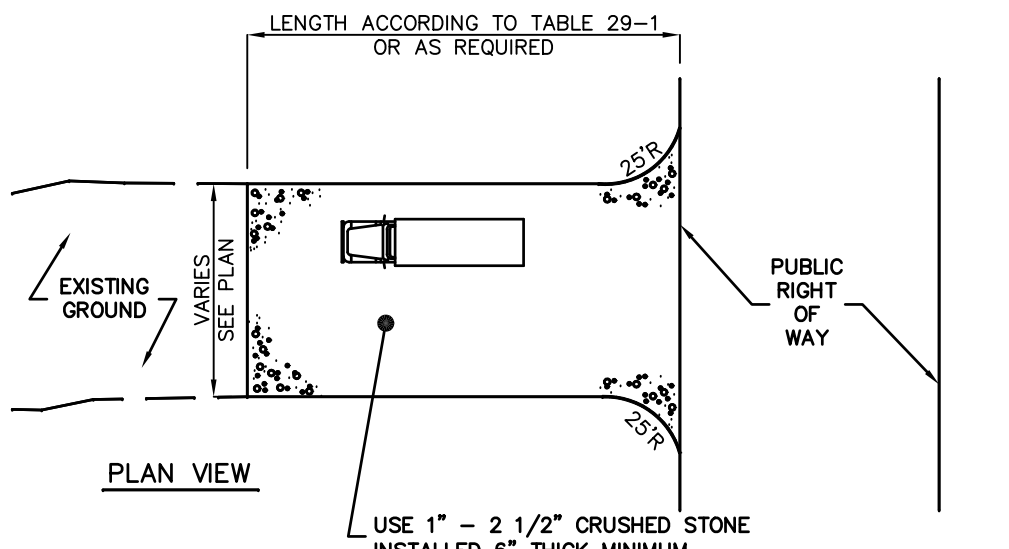
1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SEED. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SEEDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL.
3. HYDROSEEDING IS ACCEPTABLE. APPLY WITH APPROVED EQUIPMENT DESIGNED FOR PROFESSIONAL HYDROSEEDING APPLICATIONS AT RECOMMENDED RATES.
4. PROVIDE FRESH, CLEAN NEW-CROP "PREMIUM" GRADE SEED AND SEED MIXES AS FOLLOWS: (SUBMIT SEASONAL MIX ALTERNATIVE AS APPROPRIATE)
 - 40% KENTUCKY BLUEGRASS
 - 30% PERENNIAL RYE GRASS
 - 30% TURF TYPE TALL FESCUE
5. APPLY SEED AT RATE OF MINIMUM 175 POUNDS PER ACRES (4 LSB/1,000 SF).
6. SCARIFY SOIL TO DEPTH OF 3 INCHES PRIOR TO APPLICATION.
7. LAWNS SHALL BE SEEDDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWNS SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF. APPLY SEED MIX AT SPECIFIED RATE, AND LIGHTLY RAKE INTO TOP 1/4 INCH OF SOIL.
8. MULCH SEEDDED AREAS WITH STRAW MULCH AT RATE OF MINIMUM 1 1/2 TON PER ACRE (70 LBS/1,000 SF). CRIMP OR TACK STRAW MULCH TO REMAIN IN PLACE UNTIL COMPLETE GERMINATION OF SEED AND ESTABLISHED GROWTH.
9. WATER AND MAINTAIN GRASS UNTILL STAND IS ESTABLISHED AND READ FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
10. FOLLOWING SEEDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS.
11. FOLLOWING GERMINATION, APPLY HERBICIDE TO ALL GRASS GROWTH IN PLANT MULCH AREAS.
12. ALL LAWNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE RESEEDDED OR SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
13. ALL DISTURBED LAWN AREAS SHALL BE SEEDDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.



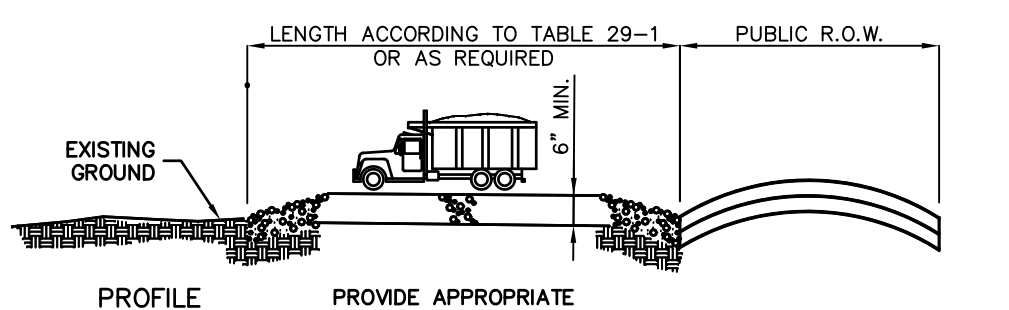
INLET FILTER

NOTES

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EACH STORM.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
3. THE PROTECTION IS DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.



PLAN VIEW



PROFILE

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

STABILIZED CONSTRUCTION ACCESS

NOT TO SCALE

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CALISTO J. BERTIN, P.E.

PROFESSIONAL ENGINEER
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MA LIC. NO. 40595 NY LIC. NO. 60022
NH LIC. NO. 9368 RI LIC. NO. 6694

ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NOT FOR CONSTRUCTION

	J.A.S.	J.A.S.	V.L.
3	11-17-25	ADD BIORETENTION DETAILS: TOWNSHIP DETAILS	
2	4-18-25	RE-SSUE	
1	3-19-24	REMOVE SOIL EROSION DETAILS	
NO.	DATE	REVISION	

DRAWING TITLE
LANDSCAPE & SOIL EROSION DETAILS

PROJECT
RESIDENTIAL DEVELOPMENT
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

TRICONE
2525 US-130 SUITE B4
CRANFORD, NJ 08512

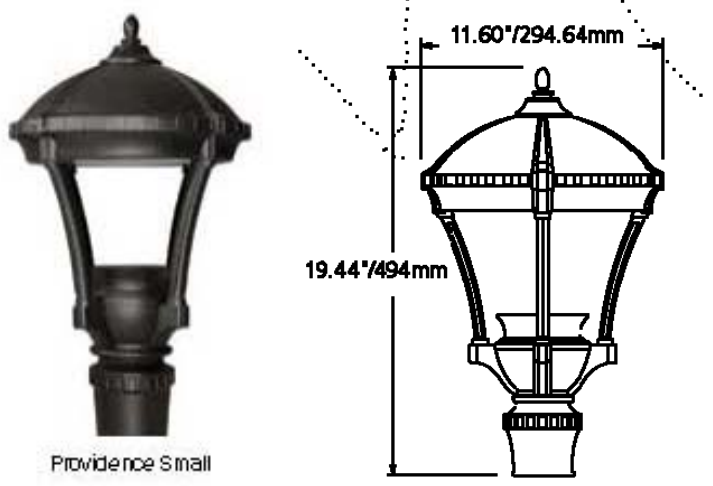
CERTIFICATE OF AUTHORIZATION 24GA28068900 / 27MH00002800	
DRAWN BY: V.L.	CHECKED BY: C.J.B.
SCALE: AS SHOWN	PROJECT NO: 21-210
DATE: 10-12-23	REVISION NO: 3
DRAWING NO:	

C3.4



"PROVIDENCE SMALL (PROS)" LED AREA LIGHT FIXTURE, MANUFACTURED BY ARCHITECTURAL AREA LIGHTING. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), LED COLOR TEMPERATURE(S), LIGHTING DISTRIBUTION(S), AND LUMENS.

AREA LIGHT FIXTURE DETAIL
(AREA LIGHTS "B2", "B3" & "B4")



NOT TO SCALE

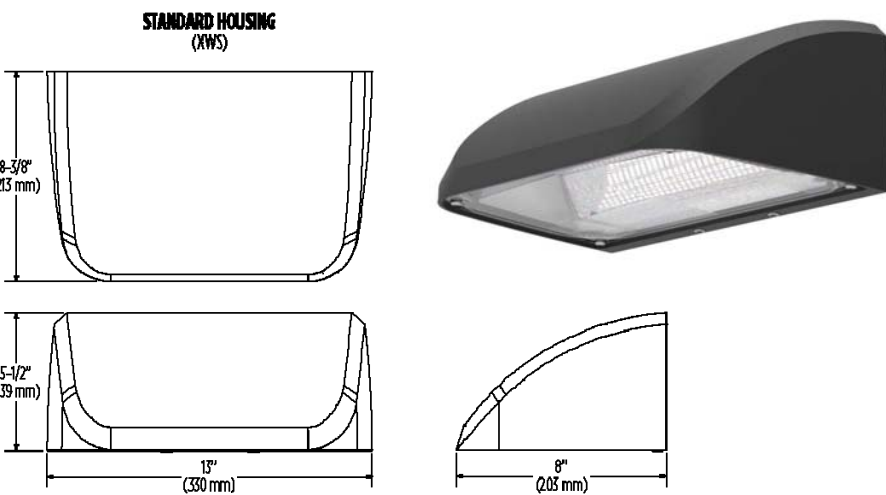


"PROVIDENCE MEDIUM (PROV2)" LED AREA LIGHT FIXTURE, MANUFACTURED BY ARCHITECTURAL AREA LIGHTING. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), LED COLOR TEMPERATURE(S), LIGHTING DISTRIBUTION(S) AND LUMENS.

AREA LIGHT FIXTURE DETAIL
(AREA LIGHTS "A1S", "A2", "A3", "A3S", "A4", "A4S", & "A5W")



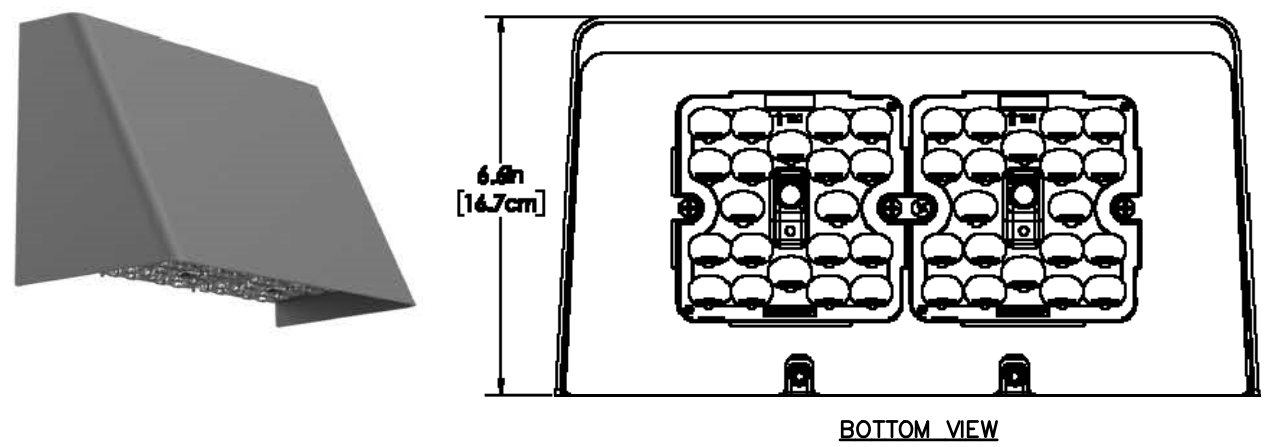
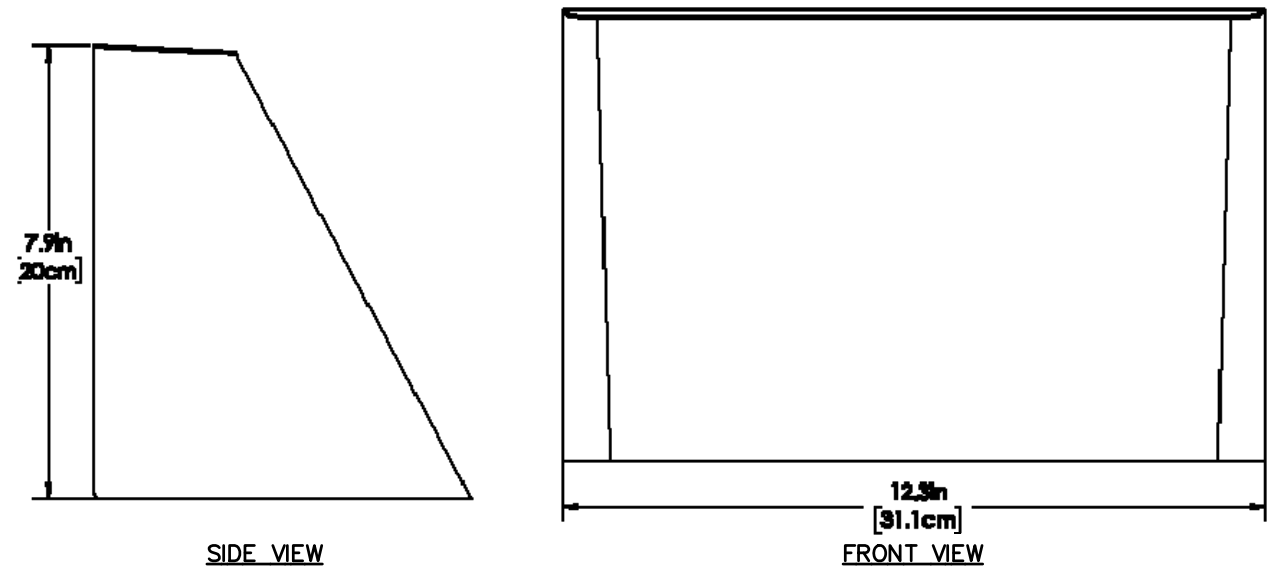
NOT TO SCALE



"MIRADA SMALL WALL SCONCE VISUAL COMFORT (XWS VC1)" LED WALL LIGHT, MANUFACTURED BY LSI INDUSTRIES. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), LED COLOR TEMPERATURE(S), LIGHTING DISTRIBUTION(S) AND LUMENS.

WALL LIGHT FIXTURE DETAIL
(WALL LIGHT "W1")

NOT TO SCALE



"GEOFORM WEDGE MEDIUM LED WALL SCONCE" (GWM), MANUFACTURED BY GARDCO. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), COLOR TEMPERATURE(S), AND LUMENS.

WALL LIGHT FIXTURE DETAIL
(WALL LIGHTS "W4" & "W5")

NOT TO SCALE

urban ambiance	
UQL1503	
EXTERIOR WALL SCONCE	
Fixture Collection Name	Subtle
Fixture Finish	Antique Black
Fixture Material	Steel
Shade Material	Clear Glass
Bulb Base Type	Medium Base
Bulb Wattage	100/03
Number of Bulbs Req.	1
Bulbs Included	No
Primary Style	Modern
Location Rating	Wall Location
Weight (in LBS)	5.83
Chain Length	None
Extension Rods	None
Ceiling / Back Plate Dies.	5.253 x 8.000 inches
Power Wire Length	0.5 Feet
LED Bulb Compatible	Yes
Slipped Ceiling Compatible	No

OUTLET BOX CENTER

4"

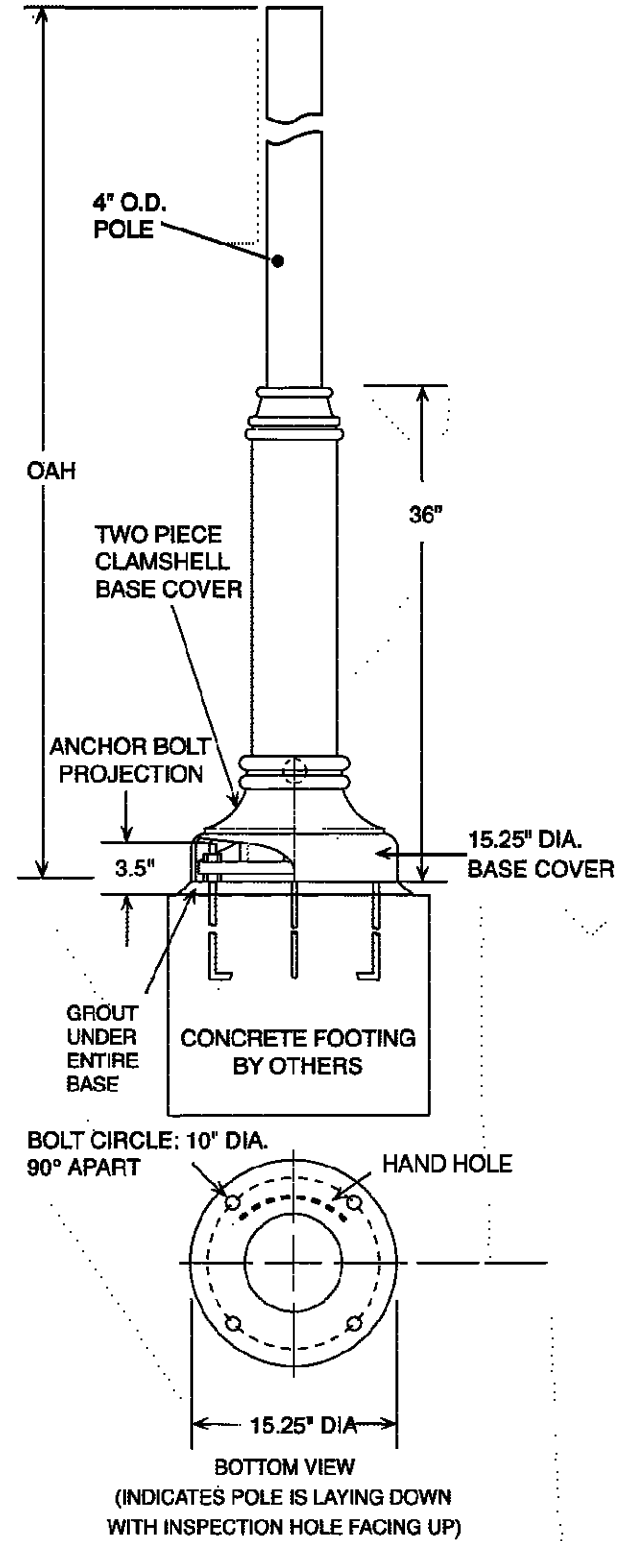
13.25"

6.75"

EXTERIOR WALL SCONCE, MANUFACTURED BY URBAN AMBIANCE. FOR USE WITH A 9W LED 3000K LIGHT BULB. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), LED COLOR TEMPERATURE(S), LIGHTING DISTRIBUTION(S) AND LUMENS.

WALL SCONCE FIXTURE DETAIL
(WALL SCONCES "W2" & "W3")

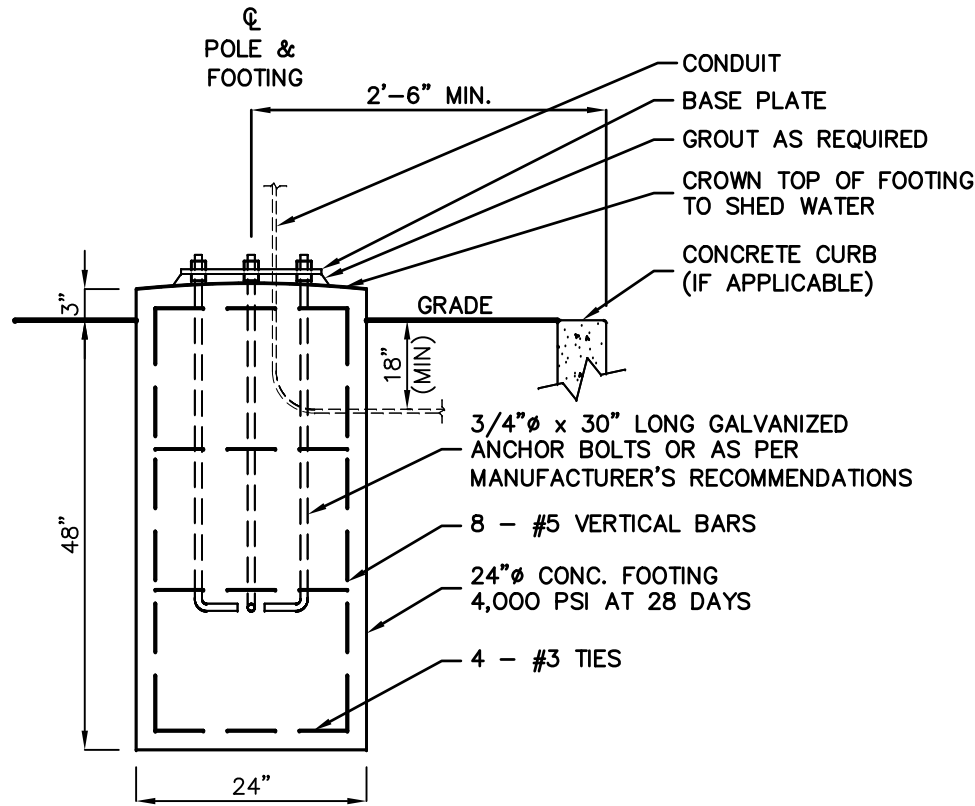
NOT TO SCALE



DECORATIVE AREA LIGHT POLE (DB6), MANUFACTURED BY ARCHITECTURAL AREA LIGHTING. FOR AREA LIGHTS "B1" & "B2", OAH = 12 FT. MODEL NO: DB6-4R12-125-12 FOR ALL OTHER AREA LIGHTS, OAH = 16 FT. MODEL NO: DB6-4R16-125-16

AREA LIGHT POLE DETAIL

NOT TO SCALE



AREA LIGHT FOOTING DETAIL

NOT TO SCALE

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ERIC M. HOUGH, P.E.

PROFESSIONAL ENGINEER
NJ LIC. NO. 51893

NOT TO SCALE/DETAILS

NO.	DATE	REVISION	J.A.S.	V.L.
2	4-16-25	RE-SSUE		
1	3-19-24	RE-SSUE		

DRAWING TITLE
**LIGHTING
DETAILS**

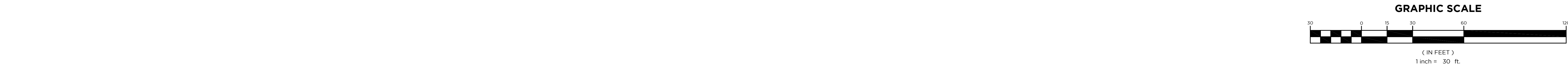
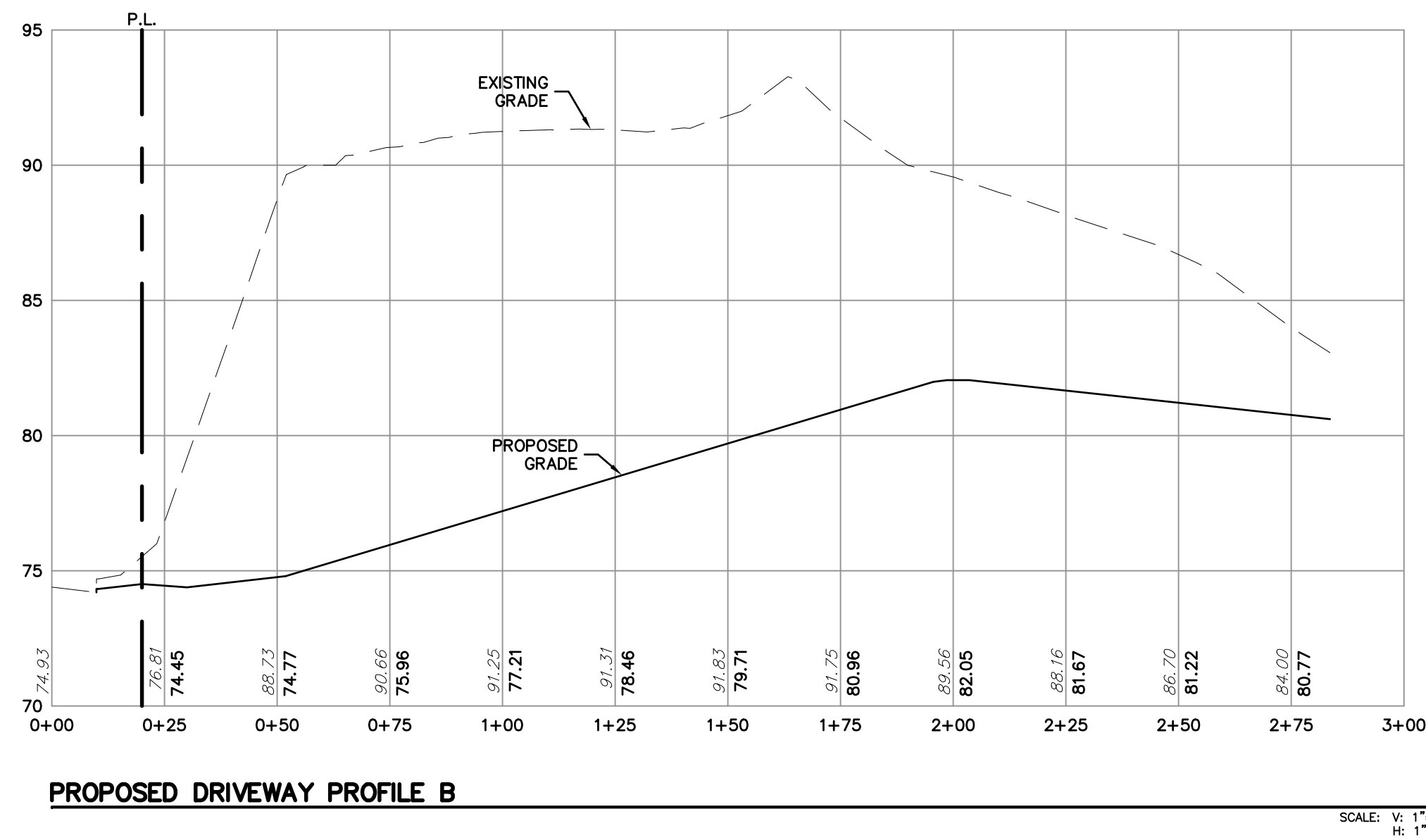
PROJECT
**RESIDENTIAL
DEVELOPMENT**
BLOCK 4201.01, LOT 33.03
GROVERS MILL ROAD & MALL ACCESS ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

CLIENT
TRICONE
2525 US-130 SUITE B4
CRANBURY, NJ 08512

CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY J.A.S.	CHECKED BY C.J.B.
SCALE AS SHOWN	PROJECT NO. 21-210
DATE 10-12-23	REVISION NO. 2

DRAWING NO.

C3.5



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MA LIC. NO. 40595		NY LIC. NO. 60022			
NH LIC. NO. 9368		RI LIC. NO. 6694			
NOT CIRCLED UNTIL SCALED					
ERIC M. HOUGH, P.E. PROFESSIONAL ENGINEER					
NJ LIC. NO. 51893					
NOT CIRCLED UNTIL SCALED					
		M.B.L.		V.L.	
		ADD SANITARY SWMR PROFILE			
		REVISE DRIVEWAY PROFILES			
3 11-17-25		REVISED AS PER SITE PLAN			
2 4-18-25		REVISED AS PER SITE PLAN			
1 6-13-24		REVISED AS PER SITE PLAN			
NO. DATE		REVISION			
DRAWING TITLE					
ROAD PROFILES					
PROJECT					
RESIDENTIAL DEVELOPMENT					
BLOCK 4201, LOT 33 03 GROVERS MILL ROAD & MALL ACCESS ROAD TOWNSHIP OF LAWRENCE MERCER COUNTY, NEW JERSEY					
CLIENT					
TRICONE					
2525 US-130 SUITE B4 CRANBURGH, NJ 08512					
CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800					
DRAWN BY		CHECKED BY			
M.B.L.		C.J.B.			
SCALE		PROJECT NO.			
AS SHOWN		21-210			
DATE		REVISION NO.			
3-19-24		3			
DRAWING NO.					
C4.1					